# TOWN OF HALTON HILLS REPORT

REPORT TO:	Mayor Bonnette and Members of Council	
<b>REPORT FROM:</b>	John McMulkin, Planner – Development Review	
DATE:	June 23, 2020	
REPORT NO.:	PD-2020-0025	
RE:	Recommendation Report for a proposed Zoning By-law Amendment to allow for the development of 131 townhouse units at 11571-11605 Trafalgar Road (Georgetown)	

#### **RECOMMENDATION:**

THAT Report No. PD-2020-0025, dated June 23, 2020, regarding the "Recommendation Report for a proposed Zoning By-law Amendment to allow for the development of 131 townhouse units at 11571-11605 Trafalgar Road (Georgetown)", be received;

AND FURTHER THAT the Zoning By-law Amendment to amend Town of Halton Hills Zoning By-law 2010-0050, as amended, for the lands municipally known as 11571-11605 Trafalgar Road (Georgetown), as generally shown in SCHEDULE 3 – ZONING BY-LAW AMENDMENT, be approved on the basis that the application is consistent with the Provincial Policy Statement, conforms or does not conflict with all applicable Provincial plans, conforms with the Region of Halton Official Plan and the Town of Halton Hills Official Plan, has regard for matters of Provincial interest, and represents good planning for the reasons outlined in Report No. PD-2020-0025, dated June 23, 2020;

AND FURTHER THAT in accordance with Section 34(17) of the Planning Act, no further notice is determined to be necessary.

#### BACKGROUND:

#### **1.0** Purpose of the Report:

The purpose of this report is to provide Council with recommendations concerning the final disposition of a Zoning By-law Amendment application submitted by BV Georgetown GP Inc. – Trolleybus (the Applicant) seeking to obtain the necessary permission to construct 131 residential townhouse units on a private condominium road at 11571-11605 Trafalgar Road in Georgetown.

The Zoning By-law Amendment seeks to implement the vision for the subject lands established through the Comprehensive Development Plan (CDP) approved by Council in September 2018.

## 2.0 Location & Site Characteristics:

The subject lands are made up of 5 properties located on the east side of Trafalgar Road, immediately west of the CN Railway; see **SCHEDULE 1 – LOCATION MAP**. The 5 properties have a combined area of approximately 3.16 hectares (7.80 acres) and contain a frontage of approximately 140 metres along Trafalgar Road.

Specific information for each of the 5 properties is shown in the table below:

Municipal Address	Area (ha)	Existing Buildings/Structures
11571 Trafalgar Rd.	0.79 ha	Single Detached Dwelling
11583 Trafalgar Rd.	0.25 ha	Single Detached Dwelling
11597 Trafalgar Rd.	0.14 ha	Single Detached Dwelling
11603 Trafalgar Rd.	1.61 ha	Industrial Building
11605 Trafalgar Rd.	0.35 ha	Single Detached Dwelling

Surrounding land uses to the consolidated site include:

- To the North: Georgetown Christian Reformed Church and Halton Hills Christian School;
- To the East: CN Railway and further east Maple Avenue and the Civic Centre Area including the Halton Hills Town Hall;
- To the South: Residential properties that are part of the Trafalgar Road Redevelopment Area Phase 2 lands and the CN Railway; and
- To the West: The Trafalgar Sports Park, JS & Son Funeral Home and the Robert C. Austin Operations Centre across Trafalgar Road.

# 3.0 Site / Development History:

Under the Town's Official Plan the subject lands are included within the area referred to as the Trafalgar Road Redevelopment Area (TRRA). Section D1.6.5 of the Official Plan required the completion of a Comprehensive Development Plan (CDP) for the TRRA, to the satisfaction of Council, prior to considering any development proposals for the lands.

The CDP was completed by the Applicant in August 2018 and approved by Town Council on September 10, 2018, through Report No. PLS-2018-0066.

The approved CDP is separated into 2 phases (see **FIGURE 1 – TRRA PHASING** below) and completed in accordance with a number of guiding principles, including achieve higher densities, accommodate planned growth for the Town and promote a mix of land uses and building types. Urban design guidelines were also adopted for the TRRA.

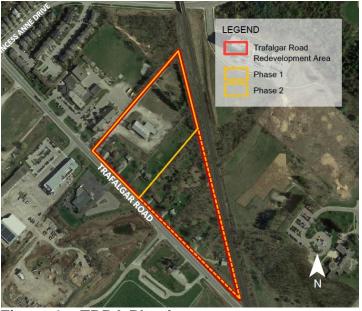


Figure 1 – TRRA Phasing

## 4.0 Development Proposal:

On January 9, 2019, the Town deemed complete the Zoning By-law Amendment and Draft Plan of Subdivision applications submitted for Phase 1 of the TRRA CDP. As part of the original submission the Applicant proposed two (2) development concepts – one for 122 townhouse units and one for 134 townhouse units. Both concepts were based on the guiding principles of the approved CDP document and supporting Urban Design Guidelines.

Following the review of the 1<sup>st</sup> Submission staff provided comments indicating a preference for Development Concept 2 (134 units), as it seemed to better align with the principles of the CDP. In response, the Applicant provided a resubmission that slightly modified that concept plan to accommodate a road widening along Trafalgar Road required by the Region of Halton; see **SCHEDULE 2 – PROPOSED DEVELOPMENT CONCEPT** below. The details of the revised concept plan, which staff is recommending approval of, are as follows:

- 131, 3-storey residential townhouse units comprised of:
  - 84 traditional units;
  - 32 back-to-back units; and
  - 15 dual frontage units fronting Trafalgar Road with garage entrances located off the private condominium road.
- 262 private parking spaces (2 per dwelling unit 1 in the garage and 1 in the driveway) and 39 visitor parking spaces located throughout the site.
- 1 main full-movement access from Trafalgar Road that aligns with the driveway access for the funeral home across the street (11582 Trafalgar Road).
- 6.7m wide interior private condominium road network designed to provide access to the Phase 2 CDP lands located to the south of the site.
- Centralized neighbourhood parkette containing play equipment.

- Landscaped open space and private outdoor amenity areas.
- Pedestrian walkways that will connect Princess Anne Drive through to the Trafalgar Sports Park entrance (through the Phase 2 CDP lands once they have been developed).

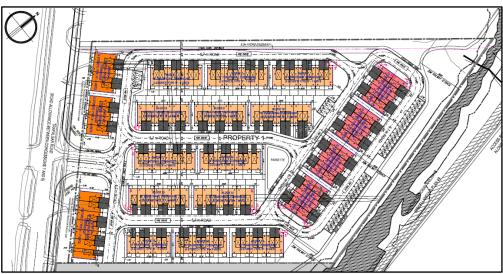


Figure 2 – Proposed Development Concept

The Applicant has provided examples of building elevations that could be incorporated within the proposed development; see **SCHEDULE 6 – BUILDING ELEVATION EXAMPLES**. The specific architectural design of the townhouse units would be approved through the required Site Plan Approval process.

The Zoning By-law Amendment application seeks to rezone the lands from Development (D) to a site-specific Medium Density Residential Two Holding "MDR2(103)(H6)" zone to accommodate townhouses of varying building typologies. The Zoning By-law Amendment also seeks to change a portion of the property's Development (D) zoning to Environmental Protection One (EP1) in order to accommodate minimum development setbacks from natural features and hazards located on and/or adjacent to the property; see SCHEDULE 3 – DRAFT ZONING BY-LAW AMENDMENT and SCHEDULE 4 – 10M FLOODLINE AND WOODLAND DRIPLINE SETBACKS. The application is not proposing to rezone the Phase 2 lands in the TRRA CDP as they are held in separate ownership.

In support of the proposal the Applicant also submitted a Draft Plan of Subdivision application, which is administrative in nature in order to create the necessary development block (Block 1) for the entire Phase 1 lands; see **SCHEDULE 5 – DRAFT PLAN OF SUBDIVISION**. As discussed later in this report, a recommendation on the final disposition of the Draft Plan of Subdivision is being held in abeyance at this time. Should Council approve the Zoning By-law Amendment the Draft Plan of Subdivision will be brought forward for consideration at a later date. To facilitate the proposal, Site Plan, Draft Plan of Common Element Condominium and Exemption from Part Lot Control applications will also need to be submitted for approval.

## COMMENTS:

This section of the report will identify, analyze and respond to key matters of interest associated with the Zoning By-law Amendment application. The section is broken down into the following three (3) subsections:

- 1.0 Planning Context and Policy Framework
- 2.0 Water Allocation
- 3.0 Town Department and External Agency Comments

#### **1.0** Planning Context and Policy Framework:

The purpose of this subsection is to evaluate the proposed Zoning By-law Amendment application against the relevant Provincial, Regional and Town policy framework to determine conformity with the applicable policies and guidelines.

#### **1.1 Provincial Policy Statement (PPS):**

The 2020 Provincial Policy Statement (PPS) provides broad based policies that promote an appropriate range of housing types that make efficient use of infrastructure and public services facilities, thus supporting the development of healthy communities. The proposal is required to be consistent with the relevant policies of the PPS in accordance with Section 3 of the *Planning Act*.

The subject lands are located within a settlement area (Georgetown). Section 1.1.3.1 of the PPS states that settlement areas shall be the focus of growth and development. In addition, Section 1.1.3.4 indicates that appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.

Planning staff is of the opinion that the proposed Zoning By-law Amendment application is consistent with the policies of the 2020 PPS.

#### **1.2 Growth Plan for the Greater Golden Horseshoe:**

The Growth Plan (2019) contains policies that speak to the provision of a diverse range and mix of housing options to accommodate people at all stages of life and creating an urban form that will optimize infrastructure to support the achievement of complete communities through a more compact built form. As per Section 3 of the *Planning Act*, the proposal shall conform and not conflict with the Growth Plan.

The subject lands form part of a larger designated urban area in Georgetown and are located within a delineated built-up area of this settlement area. Section 2.2.1.2 of the Growth Plan states that the vast majority of growth will be directed to settlement areas that: have a delineated built boundary; have existing or planned municipal water and wastewater systems; and, can support the achievement of complete communities.

Planning staff is of the opinion that the proposed development is in conformity with the Growth Plan for the Greater Golden Horseshoe.

# 1.3 Region of Halton Official Plan (ROP):

The 2009 Regional Official Plan designates the subject lands as Urban Area (Georgetown). Section 76 of the OP states that the range of permitted uses and the creation of new lots in the Urban Areas will be in accordance with Local Official Plans and Zoning By-laws. Section 89 of the ROP requires all development within the Urban Area to be on full municipal services.

Regional staff has confirmed that the application is in conformity with the ROP.

# 1.4 Town of Halton Hills Official Plan:

Under the Town's Official Plan, the subject lands are included within an area referred to as the Civic Centre District, which is made up of the "Civic Centre Area" and the "Trafalgar Road Redevelopment Area (TRRA)"; see Figure 3 – Civic Centre District below.



Figure 3 – Civic Centre District

The lands in question form part of the TRRA (area in purple on the map above), which are also subject to Residential Special Policy Area 5. This designation permits medium and high density residential uses on the bulk of the TRRA lands. Section D.1.3.2.2 states that medium density residential uses shall be developed at a density of 21 to 50 units per net residential hectare with a maximum building height of four storeys. An intensification target of 520 new residential units has been established for the entire Civic Centre District between 2015 and 2031, of which approximately 145-170 are to be accommodated within the TRRA lands.

Section D.1.6.5.2 requires Council to approve a Comprehensive Development Plan (CDP) for Residential Special Policy Area 5 and the TRRA before considering any Zoning By-law Amendment proposal. As noted, Council approved a CDP for the TRRA in 2018; the CDP was separated into 2 phases and completed using the following guiding principles:

- Achieve higher densities that have appropriate transition of built form to adjacent uses;
- Accommodate planned growth;
- Promote and integrate a diverse mix of land uses, users, building types, physical connections, trails and public spaces;
- Nurture a high quality neighbourhood character and built form through applying urban design guidelines consistently;
- Support eventual integration into a multimodal transportation system (transit, cycling, pedestrian, auto);
- Integrate natural systems to connect and expand the existing trail network;
- Encourage a healthy active community through pedestrian and cycling connectivity;
- Prioritize sustainable and efficient development, energy and infrastructure to sustainably service new development; and,
- Manage and enhance environmental features.

Urban Design Guidelines were also adopted for the TRRA through the CDP process.

Staff is of the opinion that the proposed development meets the intent of the OP policies and principles of the approved CDP for the following reasons:

- A total of 131 units are proposed, which represents a density of 41.7 units/net residential hectare and provides a significant contribution towards the 145-170 residential units required for the TRRA lands;
- The proposed townhouse units are 3 storeys in height and range in typology from traditional, to back-to-back, to dual frontage townhouse units, which will offer different housing options at various price points;
- An Urban Design Brief was submitted by the Applicant demonstrating the proposed development conforms to the TRRA Urban Design Guidelines;
- An interior private condominium road has been designed to provide access to the Phase 2 CDP lands located to the south of the site to facilitate any future development on those lands;
- A trail system is being integrated into the Town-owned woodlands to connect Princess Anne Drive to the Trafalgar Sports Park in the future; and
- An Environmental Protection One (EP1) zone is being applied to the portion of the site intended to protect the 10m development setbacks from the floodline of the Regional floodplain and dripline of the woodlands, as required by Credit Valley Conservation and Halton Region.

For the reasons outlined above, Planning staff is of the opinion that the proposed Zoning By-law Amendment will allow for the efficient use of the subject lands and development in a manner consistent with the Official Plan.

# 1.5 Town of Halton Hills Zoning By-law 2010-0050:

The subject lands are zoned Development (D), which only permits buildings and structures that legally existed on the effective date of the By-law, meaning the proposed residential townhouse units are not permitted. The subject Zoning By-law Amendment seeks to rezone the majority of the subject lands from a Development (D) zone to a site-specific Medium Density Residential Two Holding (MDR2(103)(H6)) zone to accommodate the proposed 131 townhouse units (i.e. multiple dwellings).

The Zoning By-law Amendment also seeks to change the remaining portion of the subject lands from Development (D) zone to Environmental Protection One (EP1). This zoning is requested to accommodate:

- The minimum 10m development setback from the floodline of the Regional floodplain associated with the CN Railway lands, as required by Credit Valley Conservation; and,
- The minimum 10m development setback from the dripline of woodlands located on the property, as required by the Region of Halton.

As part of the amendment a Holding provision is also being applied to the lands to address outstanding matters related to ground water, source water protection and environmental site assessment requirements. Given the outstanding requirements will not impact the zoning or the maximum number of units that can be accommodated on site, Town and Region staff were comfortable advancing the Zoning By-law Amendment application and including these items as part of a Holding (H6) provision to ensure they are addressed through the Draft Plan of Subdivision or other implementing applications (i.e. Site Plan Approval). Additionally, conditions requested by the Region of Halton have been added related to obtaining sufficient water allocation and commitments from the Owner for construction of the off-site Regional infrastructure required to support the proposed development.

Planning staff is of the opinion that the Zoning By-law Amendment is appropriate given it is consistent with the OP and implements the principles of the CDP.

# 2.0 Water Allocation:

The Region of Halton has identified that 111 SDE of water will be required to be allocated to the site to accommodate the proposed 131 townhouse units. Following approval of a Site Plan application to facilitate the proposed development, staff will bring forward a report recommending the allocation of 111 SDE to the development.

#### 3.0 Town Department and External Agency Comments:

The Zoning By-law Amendment and Draft Plan of Subdivision applications were circulated to the Town departments and external agencies for review and comment, with the most recent circulation occurring on March 13, 2020.

The Town, Region and Credit Valley Conservation do not have any issues with the approval of the Zoning By-law Amendment. However, as noted, certain outstanding technical deficiencies have been identified through the review of the Zoning By-law Amendment and Draft Plan of Subdivision applications. Staff is comfortable for these matters to be added as conditions to the proposed Holding (H6) provision and addressed through the review of the Draft Plan of Subdivision and other implementing applications.

For Council's benefit, these outstanding issues relate to:

- How the temporary or permanent dewatering of ground water resulting from the proposed development may impact neighbouring properties serviced by private wells. The Applicant is willing to eliminate basements from the design of the proposed townhouse units, which will reduce the amount of required dewatering. However, the Town and Region still require confirmation of the expected volumes of water that will be taken during the temporary and permanent (if considered) dewatering.
- How the proposed development will achieve a ground water balance (infiltration) that meets the Credit Valley-Toronto and Region-Central Lake Ontario (CTC) Source (Water) Protection Plan policy requirements (i.e. maintaining predevelopment ground water recharge) to protect water supply of municipal wells.
- The submission of a Record of Site Condition acknowledged by the Ministry of the Environment, Conservation and Parks (MECP), along with all supporting environmental documentation such as Phase I and II Environmental Site Assessments and Remediation Reports, prior to any servicing or grading of the site taking place to ensure there is no site contamination.
- The Owner entering into a Development Agreement for the construction of the off-site Regional infrastructure (i.e. Regional sanitary sewer) required to support the townhouse development. The timing for construction of the Regional infrastructure is dependent on the timing of construction for the extension of Halton Hills Drive. However, the Owner may propose an alternative strategy for the off-site infrastructure that meets municipal servicing requirements, to the satisfaction of the Region and Town.

# **RELATIONSHIP TO STRATEGIC PLAN:**

The proposed development is most closely aligned with Strategic Direction G – Achieve Sustainable Growth, the goal of which is:

To ensure that growth is managed so as to ensure a balanced, sustainable, well planned community that meets the needs of its residents and businesses.

The Strategic Direction is to be achieved as it relates to this application in part through Strategic Objectives:

- **G.9** To ensure that new population growth takes place by way of identifiable, sustainable, healthy and complete communities and neighbourhoods that reflect excellence in urban design.
- **G.10** To promote intensification and affordable housing in appropriate locations within the Town.
- **G.11** To ensure the efficient use of urban land and infrastructure in existing communities and new growth areas.

#### FINANCIAL IMPACT:

There is no immediate financial impact to the Town budgets as a result of this application.

# **CONSULTATION:**

Planning staff has consulted with the appropriate Town departments and external agencies in the preparation of this report.

## **PUBLIC ENGAGEMENT:**

The proposed Zoning By-law Amendment and Draft Plan of Subdivision applications were presented to the Public through a Statutory Public Meeting on March 5, 2019 (Report No. PLS-2019-0012). No one from the Public spoke at the meeting. No comments have been received from the Public as of the date this report was prepared.

# SUSTAINABILITY IMPLICATIONS:

The Town is committed to implementing our Community Sustainability Strategy, Imagine Halton Hills. Doing so will lead to a higher quality of life. The recommendations outlined in this report advance the Strategy's implementation.

This report supports the Environmental Health and Social Well-Being pillars of Sustainability and in summary the alignment of this report with the Community Sustainability Strategy is Very Good.

The Zoning By-law Amendment is subject to the Town's Green Development Standards, which will be implemented through the approval of the required Draft Plan of Subdivision and Site Plan applications.

# **COMMUNICATIONS:**

Public Notice of Council's decision regarding the proposed Zoning By-law Amendment will be completed in accordance with the requirements of the *Planning Act*.

#### **CONCLUSION:**

Staff has completed its review of the proposed Zoning By-law Amendment to facilitate the development of 131 townhouse units, including the relevant policies, supporting documentation and comments. Staff is of the opinion that the proposal has merit and should be supported. The proposed Zoning By-law Amendment application conforms to the Growth Plan for the Greater Golden Horseshoe, is consistent with the Provincial Policy Statement and satisfies the policies of the Region and Town Official Plans.

For these reasons, Planning staff recommends that Council approves the Zoning By-law Amendment generally shown in **SCHEDULE 3** of this report.

Reviewed and Approved by,

Jeff Markowiak, Director of Development Review

John Linhardt, Commissioner of Planning and Development

Brent Marshall, Chief Administrative Officer