

Heritage Impact Assessment

**10677 Trafalgar Road
Part of Lot 14, Concession 8
Town of Halton Hills
Geographic Township of Esquesing
Regional Municipality of Halton**

Prepared for
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EXECUTIVE SUMMARY

Under a contract awarded in July 2021 by R.V. Anderson Associates Ltd., on behalf of the Regional Municipality of Halton, Archaeological Research Associates Ltd. carried out a Heritage Impact Assessment for 10677 Trafalgar Road (subject property) as part of the proposed road widening and new watermain installation along Trafalgar Road in the Town of Halton Hills, Ontario. Specifically, Trafalgar Road is proposed to be widened from a 2-lane cross section to and 4-lane cross section with 1.5m bike lanes on each side, a center two-way left turn lane and a 3.0m wide multi-use pathway on the east side. This project is being undertaken in accordance with the approved Schedule C Municipal Class Environmental Assessment completed by the Region in 2016.

The subject property is approximately 0.94 hectares (2.3 acres) in size and is located on the east side of Trafalgar Road, between 10 Side Road and 15 Side Road. The subject property contains a single-family residential brick dwelling and a timber frame outbuilding. The subject property is listed on the Town of Halton Hills Municipal Heritage Register, recognized under Section 27 of the *Ontario Heritage Act*. The subject property is not located adjacent to a property recognized under Section 27, Part IV or Part V of the *Ontario Heritage Act*.

The Ontario Regulation 9/06 evaluation within this Heritage Impact Assessment confirms that 10677 Trafalgar Road has cultural heritage value or interest and has met criteria for design and contextual value. The preferred alternative design option as part of the Environmental Assessment includes the removal of the residence and retention of the outbuilding.

A variety of alternative design options were considered including retention of the residence *in situ* through the “Do Nothing” approach realignment/narrowing of the road widening in this section, as well as the relocation of the house within the property. Based on project requirements and constraints the removal of the house and the retention of the outbuilding was determined to be the most practical option.

Potential negative impacts to 10677 Trafalgar Road may result from the preferred alternative to the Trafalgar Road widening including:

- The proposed development involves the complete removal of the brick residence at 10677 Trafalgar Road and associated heritage attributes.
- There is the potential for impacts to/destruction of timber frame outbuilding, as a result of accidental damage during the construction process.
- The proposed preliminary design will alter the contextual relationship between the brick residence (former farmhouse) and the outbuilding
- The proposed preliminary design will isolate the outbuilding from the contextual relationship between the brick residence (former farmhouse).
- The preferred alternative design is expected to result in a portion of property’s land use changing from residential to transportation/roadway.

Mitigation measures have been included to reduce, but not eliminate, the negative impact which result from the removal of the brick building.

The following conservation/mitigation measures are recommended:

- Cultural Heritage Resource Documentation (CHRD) of the subject property. Detailed photographic and written documentation of 10677 Trafalgar Road has been completed as

part of the HIA. It should be confirmed that the existing documentation has been completed to the satisfaction of Town staff.

- Materials from the residence should be salvaged by a salvage company or as part of the Commemoration and Interpretation Plan.
- A Commemoration and Interpretive Plan for 10677 Trafalgar Road would:
 - 1) Explore options of integrating salvaged materials into the landscape plan as part of the newly integrated pedestrian/bike lanes.
 - 2) Recommend signage locations; and
 - 3) Outline graphics and text for signage.
- To protect the outbuilding during the construction period of the road and demolition of the house, temporary protection measures should be developed. Temporary construction fencing should be erected as a buffer between the outbuilding and the development/demolition areas. Measures should also include a communication protocol that details who needs to be informed about the heritage attributes and who should be contacted if there is an issue with the building

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GLOSSARY OF ABBREVIATIONS

ARA – Archaeological Research Associates Ltd.
BHR – Built Heritage Resource
CHIS – Cultural Heritage Impact Statement
CHRA – Cultural Heritage Resource Assessment
CHVI – Cultural Heritage Value or Interest
CHL – Cultural Heritage Landscape
EA – Environmental Assessment
HIA – Heritage Impact Assessment
HSMBC – Historic Sites and Monuments Board of Canada
MCEA – Municipal Class Environment Assessment
MHSTCI – Ministry of Heritage, Sport, Tourism and Culture Industries
OHA – Ontario Heritage Act
OHT – Ontario Heritage Trust
O. Reg. – Ontario Regulation
PPS – Provincial Policy Statement
ROP – Regional Official Plan
VCA – Visual Condition Assessment

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Two-page Curriculum Vitae (CV) for key team members that demonstrate the qualifications and expertise necessary to perform cultural heritage work in Ontario are provided in Appendix B.

HALTON HILLS HIA REQUIREMENTS CHART

Town of Halton Hills Terms of Reference	Relevant ARA Section
1. Introduction to Development Site	1.0 Project Context 2.0 Legislative and Policy Review
2. Historic Research, Site Analysis and Evaluation	4.0 Site History 5.0 Field Survey Appendix A: Maps and Figures
3. Assessment of Current Conditions	6.0 Property Description Appendix B: Subject Property Images
4. Evaluation of Cultural Heritage Value or Interest	7.0 Heritage Assessment
5. Description of Proposed Development or Site Alteration	8.0 Description of Proposed Development
6. Measurement of Development or Site Alteration Impacts	9.0 Analysis of Impact Assessment
7. Considerations of Alternatives, Mitigation and Conservation Methods	10.0 Alternatives 11.0 Mitigation Measures 12.0 Implementation and Monitoring
8.0 Summary Statement and Conservation Recommendations	13.0 Summary Statement and Conservation Recommendations
9.0 Bibliography	14.0 Bibliography
10.0 Report Author Credentials	Appendix C: Key Team Member Two Page CV

1.0 PROJECT CONTEXT

Under a contract awarded in July 2021 by R.V. Anderson Associates Ltd., on behalf of the Regional Municipality of Halton, Archaeological Research Associates Ltd. (ARA) carried out a Heritage Impact Assessment (HIA) for 10677 Trafalgar Road (subject property) as part of the proposed road widening and new watermain installation along Trafalgar Road in the Town of Halton Hills, Ontario. Trafalgar Road is proposed to be widened from a 2-lane cross section to and 4-lane cross section with 1.5m bike lanes on each side, a center two-way left turn lane and a 3.0m wide multi-use pathway on the east side. This project is being undertaken in accordance with the approved Schedule C Municipal Class EA completed by the Region in 2016.

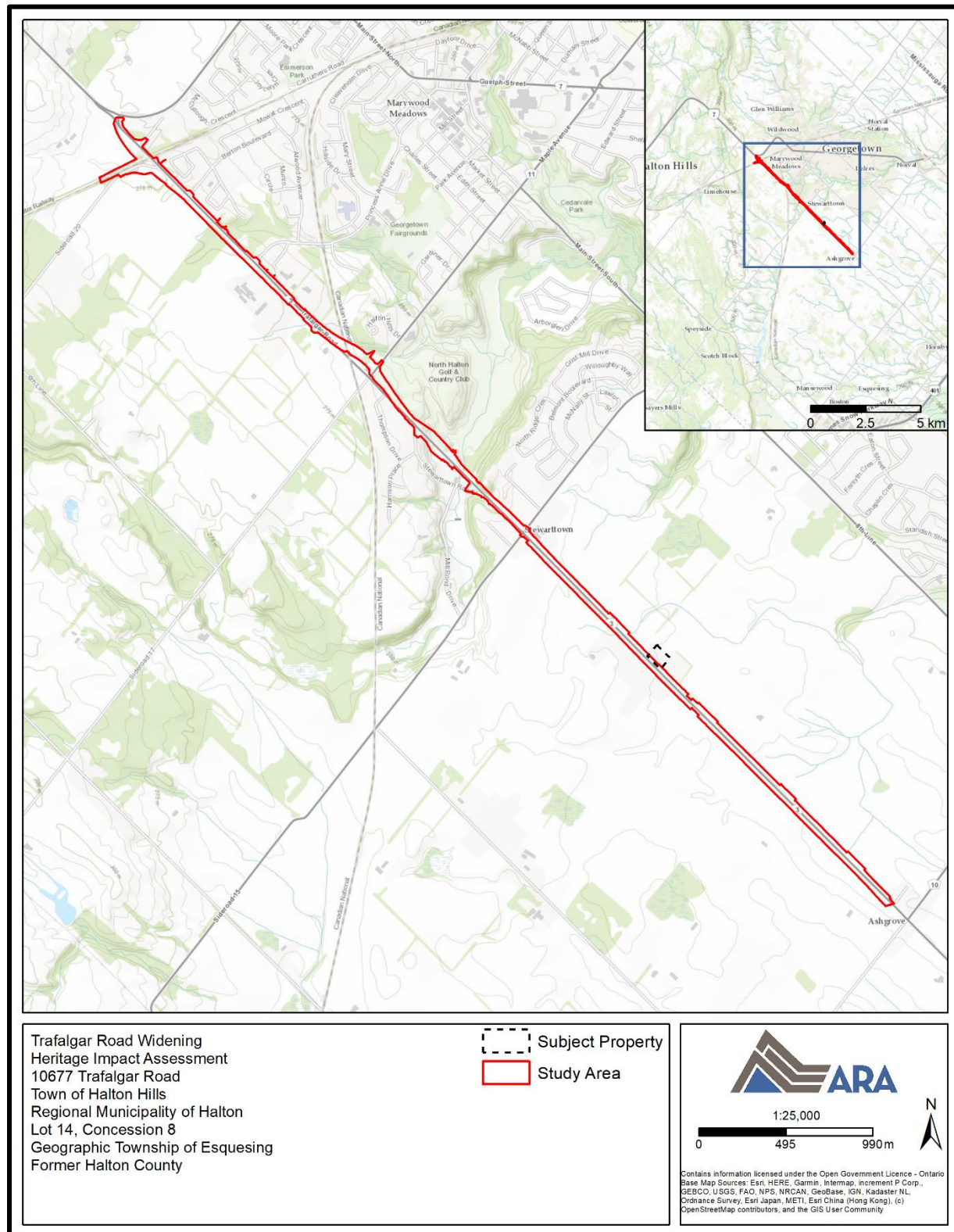
The subject property is approximately 0.94 hectares (2.3 acres) in size and is located on the east side of Trafalgar Road, between 10 Side Road and 15 Side Road. The subject property contains a single-family residential brick dwelling and a timber frame outbuilding. The subject property is listed on the Town of Halton Hills Municipal Heritage Register, recognized under Section 27 of *Ontario Heritage Act* (OHA). The subject property is not located adjacent to a property recognized under Section 27, Part IV or Part V of the OHA.

The subject property was identified by Unterman McPhail Associates as a potential cultural heritage resource (BHR 35), in 2016 in the Cultural Heritage Resource Assessment (CHRA) for the *Class Environmental Assessment Study for Trafalgar Road (Regional Road 3) Transportation Corridor Improvements from Steeles Avenue (Regional Road 8) to Highway 7* (Unterman McPhail Associates 2016). The HIA is being conducted as a part of the *Trafalgar Road (Regional Road 3) Transportation Corridor Improvements Class Environmental Assessment Study* preferred design which identifies the removal of the existing residential structure.

The project is being facilitated by R.V. Anderson Associates Ltd., and the contact information is as follows:

R.V. Anderson Associates Ltd.
4900 Palladium Way, Suite 200
Burlington, ON L7M 0W7

The purpose of the HIA is to provide a clear understanding of the cultural heritage value or interest of the subject property, review the impacts associated with the proposed road widening, and provide mitigative measures. This assessment was conducted in accordance with the aims of the *Planning Act* R.S.O. 1990, c. P.13, *Provincial Policy Statement* (2020), *Ontario Heritage Act*, R.S.O. 1990, c. O.18, *Town of Halton Official Plan* (Town of Halton Hills 2020a) and the *Town of Halton Hills Heritage Impact Assessment Terms of Reference* (Town of Halton Hills 2020b).



Map 1: Location of Subject Property and Study Area, Town of Halton Hills
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri)



Map 2: Aerial View of Subject Property and Study Area in Town of Halton Hills
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri)

2.0 LEGISLATION AND POLICY REVIEW

The framework for this assessment report is provided by federal, provincial environmental, heritage and planning legislation and policies as well as regional and local municipal Official Plans and guidelines.

2.1 Federal Guidelines

At the national level, *The Standards and Guidelines for Conservation of Historic Places in Canada* (Parks Canada 2010) provides guidance for the preservation, rehabilitation and restoration of historic places, including cultural landscapes and built heritage resources. Such guidance includes the planning and implementation of heritage conservation activities.

2.2 Provincial Policies and Guidelines

2.2.1 Environmental Assessment Act and Guideline

Within the *Environmental Assessment Act*, the environment includes “any building, structure, machine or other device or thing made by humans.” An Environmental Assessment (EA) is a study that evaluates both the potential positive and/or negative effects of a project on the environment. This study is conducted as part of a streamlined EA process known as a Municipal Class Environmental Assessment (MCEA), which applies to routine projects grouped into classes that range from A (minor undertakings) to C (new construction of large facilities). The MCEA applies to municipal infrastructure undertakings including roads, water, and wastewater projects. The proposed project constitutes a Schedule “C” undertaking.

The *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* indicates a need to describe the “affected environment” that is “a spatially defined area within which land will be altered as a result of the proponent’s development” (MHSTCI 1992:3). As such, ARA completes in-depth research and evaluation of any potential cultural heritage resource within the study area.

2.2.2 The Planning Act

In Ontario, the *Planning Act* is legislation used by provincial and municipal governments in land use planning decisions. The purpose of the *Planning Act* is outlined in Section 1.1 of the Act, which states:

- 1.1** *The purposes of this Act are,*
- (a) to promote sustainable economic development in a healthy natural environment within the policy and by the means provided under this Act;*
 - (b) to provide for a land use planning system led by provincial policy;*
 - (c) to integrate matters of provincial interest in provincial and municipal planning decisions;*
 - (d) to provide for planning processes that are fair by making them open, accessible, timely and efficient;*
 - (e) to encourage co-operation and co-ordination among various interests;*
 - (f) to recognize the decision-making authority and accountability of municipal councils in planning.*
- 1994, c. 23, s. 4.

Part I Provincial Administration, Section 2 states:

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under the Act, shall have regard to, among other matters, matters of provincial interest such as,
(d) the conservation of features of significant architectural, cultural, historical, archaeological, or scientific interest. 1990: Part I (2. d)

Part I Provincial Administration, Section 3, 5 Policy statements and provincial plans states:

A decision of the council of a municipality, a local board, a planning board, a minister of the Crown and a ministry, board, commission or agency of the government, including the Tribunal, in respect of the exercise of any authority that affects a planning matter,
(a) shall be consistent with the policy statements issued under subsection (1) that are in effect on the date of the decision; and
(b) shall conform with the provincial plans that are in effect on that date, or shall not conflict with them, as the case may be. 2006, c. 23, s. 5; 2017, c. 23, Sched. 5, s. 80.

The current *Provincial Policy Statement* (PPS), issued under section 3 of the *Planning Act*, came into effect May 1st, 2020.

2.2.3 The Provincial Policy Statement (2020)

The Provincial Policy Statement (PPS 2020) contains a combined statement of the Province's land use planning policies. It provides the provincial government's policies on a range of land use planning issues including cultural heritage outlined in Section 2.0 as including: "Ontario's long-term prosperity, environmental health, and social well-being depend on conserving biodiversity, protecting the health of the Great Lakes, and protecting natural heritage, water, agricultural, mineral and cultural heritage and archaeological resources for their economic, environmental and social benefits" (MMAH 2020:24). The PPS 2020 promotes the conservation of cultural heritage resources through detailed policies in Section 2.6, such as "2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved" and "2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved" (MMAH 2020:31).

2.2.4 Ontario Heritage Act

The Ontario Heritage Act, R.S.O. 1990, c.018 is the guiding piece of provincial legislation for the conservation of significant cultural heritage resources in Ontario. The *OHA* gives provincial and municipal governments the authority and power to conserve Ontario's heritage. The Act has policies which address individual properties (Part IV), heritage districts (Part IV), and allows municipalities to create a register of non-designated properties which may have cultural heritage value or interest (Section 27).

In order to objectively identify cultural heritage resources, O. Reg. 9/06 made under the *OHA* sets out three principal criteria with nine sub-criteria for determining cultural heritage value or interest (CHVI) (MHSTCI 2006a:20–27). The criteria set out in the regulation were developed to identify

and evaluate properties for designation under the OHA. Best practices in evaluating properties that are not yet protected employ O. Reg. 9/06 to determine if they have CHVI. In the absence of specific Cultural Heritage Landscape (CHL) evaluation criteria, O. Reg 9/06 is also applied to consider the built and natural features and the property as a whole. The O. Reg. 9/06 criteria includes: design or physical value, historical or associative value and contextual value.

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

2.3 Municipal Policies

2.3.1 Halton Region Official Plan

The *Region of Halton Official Plan* (ROP) Chapter 4: Healthy Community Policies contains policies that address cultural heritage resources. Policy 165 in the *Halton Region Official Plan* is to “protect the material, cultural and built heritage of Halton for the present and future generations” (2018:115). An objective of the Region for cultural heritage resources is to: “To promote awareness and appreciation of Halton’s heritage” (2018:115). In Policy 167.(1) Halton Region recognizes the need to: “Maintain, in conjunction with Local Municipalities, local historical organizations, and municipal heritage committees a list of documented Cultural Heritage Resources in Halton” (2018:116). Additionally, Policy 167.5 indicates that the ROP will: “encourage the Local Municipalities to prepare ... an inventory of heritage resources and provide guidelines for preservation, assessment and mitigative activities” (2018:116).

2.3.2 Town of Halton Hills Official Plan

One of the strategic objectives outlined in the Town of Halton Hills Official Plan with respect to cultural heritage resources is to “foster civic pride by recognizing the contribution that cultural heritage resources make to the rural and urban fabric of the Town” (Town of Halton Hills 2020a:A-11). Section F5 of the Town of Halton Hills Official Plan (2020a:F-17) contains cultural heritage policies. F5 indicates:

It is the intent of this Plan that the Town’s cultural heritage resources be identified, conserved and enhanced whenever practical and that all new development occur in a manner that respects the Town’s rich cultural heritage.

To this end, the Town requires a Cultural Heritage Impact Statement (CHIS), as stated in OP Policy 5.12, to “support an application for development if the affected lands are the site of an identified or significant cultural heritage resource or are located” (2020a:F17-F18). The components of a CHIS are to contain a description of:

- a) *The proposed development;*
- b) *The cultural heritage resource(s) to be affected by the development;*
- c) *the impacts upon the cultural heritage resource(s) of the proposed development;*
- d) *the measures necessary to mitigate the negative impacts of the development on the cultural heritage resource(s);*
- e) *how the proposed development will relate, in terms of height, built, massing and presence with identified heritage buildings on the property and in the area; and,*
- f) *how the policies of the Cultural Heritage Regional Master Plan have been incorporated or satisfied, where one has been prepared and the recommendations have been incorporated into this Plan.*

And mitigations for impacts of development on cultural heritage resources, Policy F5.1.4 indicates there are conditions that may be imposed by Council as a condition of development approval including: “the implementation of appropriate mitigation measures, to minimize the impact of the development” (2020a:F-18).

The *Town of Halton Hills Heritage Impact Assessment Terms of Reference* allows for:

... the review of a proposed development or site alteration on the site of an identified or significant cultural heritage resource, located in close proximity to a significant cultural heritage resource, or on adjacent lands to a significant cultural heritage resource (2020b:2).

An HIA is outlines the required elements for HIAs prepared on properties situated within the Town of Halton Hills. An HIA is to include:

1. *Introduction to the Development Site*
2. *Historical Research, Site Analysis and Evaluation*
3. *Assessment of Existing Condition*
4. *Evaluation of Cultural Heritage Value or Interest*
5. *Description of the Proposed Development or Site Alteration*
6. *Measurement of Development or Site Alteration*
7. *Consideration of Alternatives, Mitigation and Conservation Measures*
8. *Summary Statement and Conservation Recommendations*
9. *Bibliography*
10. *Report Author Credentials*

2.4 Policy Conclusions

Provincial legislation and guidelines and regional and municipal policies of *Halton Region Official Plan*, the *Town of Halton Hills Official Plan* call for the identification of cultural heritage resources, the retention and promotion of heritage resources and provide policies related to potential development impacts to cultural heritage resources. The *Town of Halton Hills Heritage Impact Assessment Terms of Reference* details the information required to address the mitigation of development impacts. This HIA will address these cultural heritage policies and guidelines as they relate to the proposed project.

2.5 Key Concepts

The following concepts require clear definition in advance of the methodological overview and proper understanding is fundamental for any discussion pertaining to cultural heritage resources:

- **Built Heritage Resource (BHR)** can be defined in the *PPS* as: “a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including Indigenous community. Built heritage resources are located on property that has been designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial and/or federal and/or international registers” (MMAH 2020:41).
- **Cultural Heritage Value or Interest (CHVI)**, also referred to as Heritage Value, is identified if a property meets one of the criteria outlined in O. Reg. 9/06 namely historic or associate value, design or physical value and/or contextual value. Provincial significance is defined under *Ontario Heritage Act (OHA)* O. Reg. 10/06.
- **Conserved** means “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by relevant planning authority and/or decision-makers. Mitigative measures and/or alternative development approaches can be included in these plans and assessments” (MMAH 2020:41).
- **Heritage Attributes** are defined in the *PPS* as: “the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property)” (MMAH 2020:44-45).
- **Protected heritage property** is defined as “property designated under Parts IV, V or VI of the *Ontario Heritage Act*; property subject to a heritage conservation easement under Parts II or IV of the *Ontario Heritage Act*; property identified by the Province and prescribed public bodies as provincial heritage property under the *Standards and Guidelines for Conservation of Provincial Heritage Properties*; property protected under federal legislation, and *UNESCO World Heritage Sites*” (MMAH 2020:49).
- **Significant** in reference to cultural heritage is defined as: “resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*” (MMAH 2020:51).

Key heritage definitions from the *Halton Region Official Plan* are as follows:

- **Built heritage resources** are defined as “one or more significant buildings, structures, monuments, installations or remains associated with architectural, cultural, social, political, economic or military history and identified as being important to the community. These resources may be identified through designation or heritage conservation easement under the *Ontario Heritage Act*, or listed by local, regional, provincial or federal jurisdictions” (2018:150).
- **Cultural heritage resources** are “the elements of the Regional landscape which, by themselves, or together with the associated environment are unique or representative of

past human activities or events. Such elements may include built heritage resources, cultural heritage landscape and archaeological resources” (2018:151)

- **Cultural heritage landscape** is “a defined geographical area of heritage significance which has been modified by human activities and is valued by a community. It involves a grouping(s) of individual heritage features such as structures, spaces, archaeological sites and natural elements, which together form a significant type of heritage form, distinctive from that of its constituent elements or parts. Examples may include, but are not limited to, heritage conservation districts designated under the Ontario Heritage Act; and villages, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, railways and industrial complexes of cultural heritage value.” (2018:151).

The *Town of Halton Hills Official Plan* also contains distinctive terms related to their cultural heritage policies. Several are:

- **Built Heritage** means individual or group of significant buildings, structures, monuments, installations, or remains, which are associated with architectural, cultural, social, political, economic, or military history and identified as being important to a community. These resources may be designated or subject to a conservation easement under the Ontario Heritage Act, or listed by the federal or provincial governments or the Town” (Town of Halton Hills 2020a:G-30).
- **Conserved** means the identification, protection, use and/or management of cultural heritage resources in a manner that retains their heritage values, attributes and integrity (2020a:G-31).
- **Cultural Heritage Resources** means “those things left by a people of a given geographic area, and includes:
 - a) built heritage, such as buildings, structures, monuments or remains of historical, cultural or architectural value, and including protected heritage property;
 - b) cultural heritage landscapes, such as rural, hamlet or urban uses of historical or scenic interest; and,
 - c) archaeological resources” (2020a:G-32).

3.0 CONSULTATION

BHRs and CHLs are broadly referred to as cultural heritage resources. A variety of types of recognition exist to commemorate and/or protect cultural heritage resources in Ontario. As part of consultation ARA reviews relevant online sources and databases to determine if the subject property is recognized.

The Minister of the Environment and Climate Change, on the advice of the Historic Sites and Monuments Board of Canada (HSMBC), makes recommendations to declare a site, event or person of national significance. The National Historic Sites program commemorates important sites that had a nationally significant effect on, or illustrates a nationally important aspect of, the history of Canada. A National Historic Event is a recognized event that evokes a moment, episode, movement or experience in the history of Canada. National Historic People are people who are recognized as those who through their words or actions, have made a unique and enduring contribution to the history of Canada. The Parks Canada’s online *Directory of Federal Heritage Designations* captures these national commemorations as well as lists Heritage Railway Stations, Federal Heritage Buildings and Heritage Lighthouses.

Another form of recognition at the federal level is the Canadian Heritage Rivers System program. It is a federal program to recognize and conserve rivers with outstanding natural, cultural and

recreational heritage. It is important to note that federal commemoration programs do not offer protection from alteration or destruction. Additionally, there is the *Canadian Register of Historic Places* which contains properties recognized by federal, provincial and territorial governments. As noted above, recognition in the Register does not offer protection from alteration/destruction but these properties may have other government designations/protections that do offer protections.

The Ontario Heritage Trust (OHT) operates the Provincial Plaque Program that has over 1,250 provincial plaques recognizing key people, places and events that shaped the province. Additionally, properties owned by the province may be recognized as a “provincial heritage property” (MHSTCI 2010). The OHT plaque database and the Federal Canadian Heritage Database were searched. The subject property is not commemorated with an OHT plaque, nor is it recognized as a National Historic Site (OHT 2022; Parks Canada 2022). It does not appear that the subject property is subject to an OHT or municipal easement.

Protected properties are those protected by Part IV (individual properties) or Part V (Heritage Conservation District) designation under the *OHA*. Once designated, a property cannot be altered or demolished without the permission of the local council. A cultural heritage resource may also be protected through a municipal or OHT easement. Many heritage committees and historical societies provide plaques for local places of interest.

Under *Section 27* of the *OHA*, a municipality must keep a Municipal Heritage Register. A Municipal Heritage Register lists designated properties as well as other properties of cultural heritage value or interest in the municipality. Properties on this Register that are not formally designated are commonly referred to as “listed.” Listed properties are flagged for planning purposes and are afforded a 60-day delay in demolition if a demolition request is received.

MHSTCI’s current list of Heritage Conservation Districts was consulted. The property was not found to be located within a designated district (MHSTCI 2022). The list of properties designated by the MHSTCI under *Section 34.5* of the *OHA* was consulted and the property is not included in this list. The Town of Halton Hill Heritage Register was consulted, and it was confirmed that the subject property at 10677 Trafalgar Road is listed under *Section 27* of the *OHA*. The City’s Heritage Planner provided the inventory sheet which supported the reasons for listing the subject property on the heritage register.

Additional information about 10677 Trafalgar Road was provided by the City’s Heritage Planner on September 28, 2021. The City’s Heritage Planner noted that the property was identified as a potential cultural heritage resource in 2014, however was not listed at the time. The subject property was added to the Heritage Register on June 20, 2016. The subject property was identified by Unterman McPhail Associates as a potential cultural heritage resource (BHR 35), in 2016 in the Cultural Heritage Resource Assessment (CHRA) for the *Class Environmental Assessment Study for Trafalgar Road (Regional Road 3) Transportation Corridor Improvements from Steeles Avenue (Regional Road 8) to Highway 7* (Unterman McPhail Associates 2016). Furthermore, the 2018 *Heritage Conservation Strategy Report: Vision Georgetown Secondary Plan, Phase 3* completed by Unterman McPhail Associates identified the property as a built heritage resource (BHR5) and recommended a conservation strategy. The recommendations found within these reports will be examined in more detail in *Section 7.0*. Lastly, the City’s Heritage Planner noted that the subject property is a “pre-confederation building and should be conserved” (Pers. Comm., September 28, 2021).

4.0 SITE HISTORY

The site history of the property was constructed using background information obtained from aerial photographs, historical maps (i.e., illustrated atlases), archival sources (i.e., historical publications, census records, land registry records), and published secondary sources (online and print). Due to Covid-19 restrictions, there is the possibility that additional historical information exists but may not have been identified.

In order to place the subject property and adjacent properties within the historic context of the township and town, Section 4.1 outlines the settlement Section 4.2 outlines the growth of the historic township and Section 4.3 outlines the history of the subject property.

In an attempt to reconstruct the historic land use of the subject property and its context, ARA examined four historical maps documenting past residents, structures (e.g., homes, businesses, and public buildings) and features during the 19th century and two topographical maps from the early 20th century. Specifically, the following resources were consulted:

- Crown Land Mapping of Esquesing Township from 1819 and 1822 (Archives of Ontario n.d.)
- *Esquesing Township* from Walker and Miles' *Illustrated Historical Atlas of the County of Halton, Ontario* (1858) (McGill University 2001);
- G.C. Tremaine's *Tremaine's Map of the County of Halton, Canada West* (1877) (OHCMP 2021);
- Topographic map from 1909 (OCUL 2021); and
- Aerial images from 1948, 1960 and 1990 (NAPL).

Furthermore, ARA completed a summary of land transactions for the subject property (10677 Trafalgar Road) to understand the land ownership history of the property (see The land ownership history of 10677 Trafalgar Road (Part of West Half of Lot 14, Concession 8, Township of Esquesing) is outlined in Table 2.

Table 2). The maps and land transactions informed the history of the subject property (see Section 4.3)

4.1 Settlement History

The Township of Esquesing has a long history of Indigenous land use and settlement including Pre-Contact and Post-Contact campsites and villages. It should be noted that the written historical record regarding Indigenous use of the landscape in Southern Ontario draws on accounts by European explorers and settlers. As such, this record details only a small period of time in the overall human presence in Ontario. Oral histories and the archaeological record show that Indigenous communities were mobile across great distances, which transcend modern understandings of geographical boundaries and transportation routes.

Based on current knowledge, the cultural heritage resources located within the study area are tied to the history of the initial settlement and growth of Euro-Canadian populations in the township. Accordingly, this historical context section spans the early Euro-Canadian settlement history through to the present. The Post-Contact period can be effectively discussed in terms of major historical events and the principle characteristics associated with these events are summarized in Table 1.

Table 1: Post-Contact Settlement History
(Smith 1846; Coyne 1895; Lajeunesse 1960; Warnock 1862; Ellis and Ferris 1990; Surtees 1994; AO 2015)

Historical Event	Timeframe	Characteristics
Early Contact	Early 17 th century	Brûlé explores the area in 1610; Champlain visits in 1613 and 1615/1616; Iroquoian-speakers (Huron, Petun and Neutral) and Algonkian-speakers (Anishinabeg) encountered; European goods begin to replace traditional tools.
Five Nations Invasion	Mid-17 th century	Haudenosaunee (Five Nations) invade circa. 1650; Neutral, Huron and Petun Nations are defeated/removed; vast Iroquoian hunting territory established in the second half of the 17 th century; Explorers continue to document the area.
Anishnabeg Influx	Late 17 th and early 18 th century	Ojibway, Odawa and Potawatomi expand into Haudenosaunee lands in the late 17 th century; Nanfan Treaty between Haudenosaunee and British in 1701; Anishnabeg occupy the area and trade directly with the French and English.
Fur Trade Development	Early and mid-18 th century	Growth and spread of the fur trade; Peace between the French and English with the Treaty of Utrecht in 1713; Ethnogenesis of the Métis; Hostilities between French and British lead to the Seven Years' War in 1754; French surrender in 1760.
British Control	Mid-). century	<i>Royal Proclamation</i> of 1763 recognizes the title of the First Nations to the land; Numerous treaties arranged by the Crown; First acquisition is the Seneca surrender of the west side of the Niagara River in August 1764.
Loyalist Influx	Late 18 th century	United Empire Loyalist influx after the American Revolutionary War (1775–1783); British develop interior communication routes and acquire additional lands; Constitutional Act of 1791 creates Upper and Lower Canada.
County Development	Late 18 th and early 19 th century	Area initially adjacent to York County's 'West Riding'; Became part of York County's 'West Riding' in 1798; 'Brant's Tract' at the head of Lake Ontario acquired in 1797; Remainder of southern portion acquired as part of the 'Head of the Lake Purchase' in 1806; Halton County established in 1816; Northern portion acquired as part of the 'Ajetance Purchase' in 1818; Independent after the abolition of the district system in 1849.
Township Formation	Early 19 th century	Esquesing settlers arrive circa. 1819 after Second Purchase of the Mississauga Tract; Township well watered by Credit River and tributaries; early settlers included the Humes, McDonalds, McPhersons, McColls, Standishs, Reeds, Watkinses, Nickells, Frazers, Stewarts, Laidlaws, Dobbies, Neilsons Campbells, Barbours, Kennedys, Robinsons and Swackhammers; population reached 424 by 1821; York Road opened from Toronto to Georgetown by 1832; First post office opened along 7 th Line then moved to Stewarttown by 1840.
Township Development	Mid-19 th and early 20 th century	23,255 ha taken up in the township and 7,947 ha under cultivation by mid-19 th century; 4 grist mills and 11 sawmills in operation by 1846; Traversed by Grand Trunk Railway (1850s) and Hamilton and Northwestern Railway (1870s); Township population 6,000 by 1877; Prominent communities included Georgetown, Acton, Stewarttown, Limehouse, Hornby, Norval, Glen Williams, Ballinafad, Silver Creek, Ashgrove, Speyside and Peru

4.2 Esquesing Township

The Township of Esquesing is bounded on the north by Erin, in the County of Wellington, on the east by Chinguacousy, in the County of Peel, on the south by Trafalgar Township and on the west by Nassagaweya. Esquesing Township was surveyed in 1818 by Charles Kennedy and Richard Bristol, creating a grid pattern that separated the area into 11 concessions (EHS 2019). In 1819, James Hume and Ronald MacDonald settled in Esquesing Township as the first European settlers (Pope 1824).

The Village of Equesing (later Stewarttown) is situated within the Credit River Valley and was settled in 1819 by Irish Protestants. Many of the early family names associated with Stewarttown include Standish, Beatty, Reed, Randall, Cooke, Graham, Fee, Vance, Morrison, Thompson and Harrison. Stewarttown acted as the organizational centre of the Township with the seat of local government in 1850 (EHS 2017). The principal road to the lake was Trafalgar Road so development of several villages began along this route and throughout the county in the 19th century including Georgetown in 1823, Acton (then Dansville) in 1825, Ashgrove in 1888, Limestone in 1840, and Norval in 1820 (Walker & Miles 1877:77). In the mid 1800s Trafalgar Road has been improved to be a plank roadway consisting of three-inch planks laid across four-inch square stringers connecting Oakville to Stewarttown. By 1860, Trafalgar Road had been gravelled due to difficulty maintaining the plank roadway (EHS 2021). The arrival of the Railway in 1856 changed the landscape and encouraged growth in Georgetown while also spelling the demise for Stewarttown as a population centre within the Township of Esquesing (EHS 1999).

Surrounding these town and hamlets, the area maintained a relatively agricultural landscape throughout the 20th century. Suburban developments in the 21st century which have primarily grown from the historic town and hamlets in the township have encroached on this former agricultural landscape.

4.3 Subject Property – 10677 Trafalgar Road

The land ownership history of 10677 Trafalgar Road (Part of West Half of Lot 14, Concession 8, Township of Esquesing) is outlined in Table 2.

**Table 2: Summary of Land Transactions for 10677 Trafalgar Road
(LRO #20)**

Instrument #	Instrument	Date	Grantor	Grantee	Comments
-	Patent	16 Jul 1835	Crown	Christopher Cooke	West ½, 100 acres
[418]	Bargain and Sale	18 Jul 1835	Christopher Cooke	Robert Campbell	West ½, 100 acres
5592	Bargain and Sale	12 Feb 1847	Robert Campbell	John Sloan	West ½, 100 acres
216	Bargain and Sale	25 May 1850	John Sloan	Robert Campbell	West ½, 100 acres
245	Bargain and Sale	19 Jun 1853	Robert Campbell	Henry Thompson	West ½, 100 acres
801	Bargain and Sale	9 Mar 1861	Henry Thompson and wife	Robert F. Bessy	West 1/2 , 100 acres
857	Bargain and Sale	21 May 1861	Robert F. Bessy	Ezra Bessey	West 1/2 , 100 acres
880	Bargain and Sale	17 Aug 1861	Ezra Bessey	Peter M. Rowe	West 1/2 , 100 acres
2151	Bargain and Sale	31 Oct 1876	Peter Rowe and wife	David Little	West half, 100 acres
13401	Grant	8 May 1923	Executor of Isabella Little	William Little	West ½
13403	Grant	1 Mar 1923	William J. Little and wife	Harry F. Bessey	[West ½ subject to payment of legacy]
262426	Grant	15 Nov 1968	Harry Bessey	Ann E. Bessey	2.209 acres
264410	Grant	30 Jan 1969	Ann E. Bessey	Harry Bessy and Ann Bessey	illegible

Instrument #	Instrument	Date	Grantor	Grantee	Comments
705456	Grant	2 Nov 1988	Ann E. Bessey	Lois J. Dredge	Part west ½ (2.209 acres) as in #264410

The crown patent for 100 acres on the west half of Lot 14, Concession 8 was granted to Christopher Cooke in 1835. Cooke was an Irish settler who immigrated to Canada in 1819 (Find a Grave 2021). While the crown patent was granted to Cooke in 1835, Cooke's name appears on a 1819 survey map of Esquesing Township on the west half of Lot 14, Concession 8, suggesting that he resided in the area prior to receiving the grant (see Map 5). Cooke is also recorded as being a Pathmaster in the Township of Esquesing in 1821 (Esquesing Historical Society 2019:3).

Within two days, Cooke had sold the 100 acres to Robert Campbell in July 1835. Similar to the land records for Cooke, it is likely that Campbell already resided on the subject property prior to this land registry record. An 1822 map of Esquesing Township lists Robert Campbell as the owner of the west half of Lot 14 on Concession 8 (see Map 4).

In 1847, Robert Campbell sold the property to John Sloan who owned the property until 1850. Sloan is recorded as a mason living in Esquesing Township on the 1851 Canadian Census (LAC 1851). In 1850, Robert Campbell again assumed ownership of the property and lived at the property until 1861. Henry Thompson is listed on the 1861 Canadian Census as residing in the Township of Esquesing with his wife Ann and six children in a brick one-and-a-half storey house (likely the extant house). Thompson is listed as working as a Yeoman (LAC 1861).

Robert F. Bessey purchased the property from Henry Thompson in 1861. Robert Freeman Bessey is recorded as a Yeoman living in a frame one-and-a-half storey residence in the Township of Esquesing (LAC 1861). It is possible that this description refers to Bessey's farm property in Georgetown, depicted in the 1877 Illustrated Historical Atlas of the County of Halton (see Figure 1). A few months later, land ownership was transferred to Ezra Bessey, Robert's brother, who also sold after a few months later to Peter M. Rowe. In 1871, Peter Rowe is recorded as a Baptist working as a farmer in Esquesing Township (LAC 1871). Peter Rowe as "P.M. Rowe" appears as the owner of the subject property on an 1877 map of Esquesing Township (see Map 6). This map depicts a house located in close proximity to the roadway (Trafalgar Road) and is flanked by orchards. In 1876, Rowe sold the property to David Little.

The Little family owned the property for 47 years until it was sold in 1923. The 1891 census lists David Little as a farmer living in the Township of Esquesing. Little's house is described as a brick one-and-a-half storey house with five rooms (LAC 1891). David Little died in 1899 but property ownership was held by his wife Isabella Little (nee Smith) until March 1923 when ownership was transferred to the Little's eldest son, William John Little (LAC 1891). A 1906 farmer and business directory for Halton, Waterloo and Wellington lists three Little residents working as farmers on Lot 14, Concession 8; H.S. Little (Hugh Smith), I. Little (Isabella) and W.J. Little (William John) (Union Publishing Co 1906).

In May of 1923, William Little sold the property to Harry F. Bessey. Harry (Harold) is the great-nephew of Robert and Ezra Bessey, who owned the subject property briefly in 1861. Harold marriage record to Anne Eliza Mcbride recorded him as a farmer residing in the town of Terra Cotta in 1926 (see Figure 2), however voting records in 1934 record Harry and Anne residing at the subject property (Esquesing Historical Society 1991:8). In 1988 the property ownership was transferred to Lois J. Dredge, daughter of Harry and Ann (Acton Free Press 1992:21).

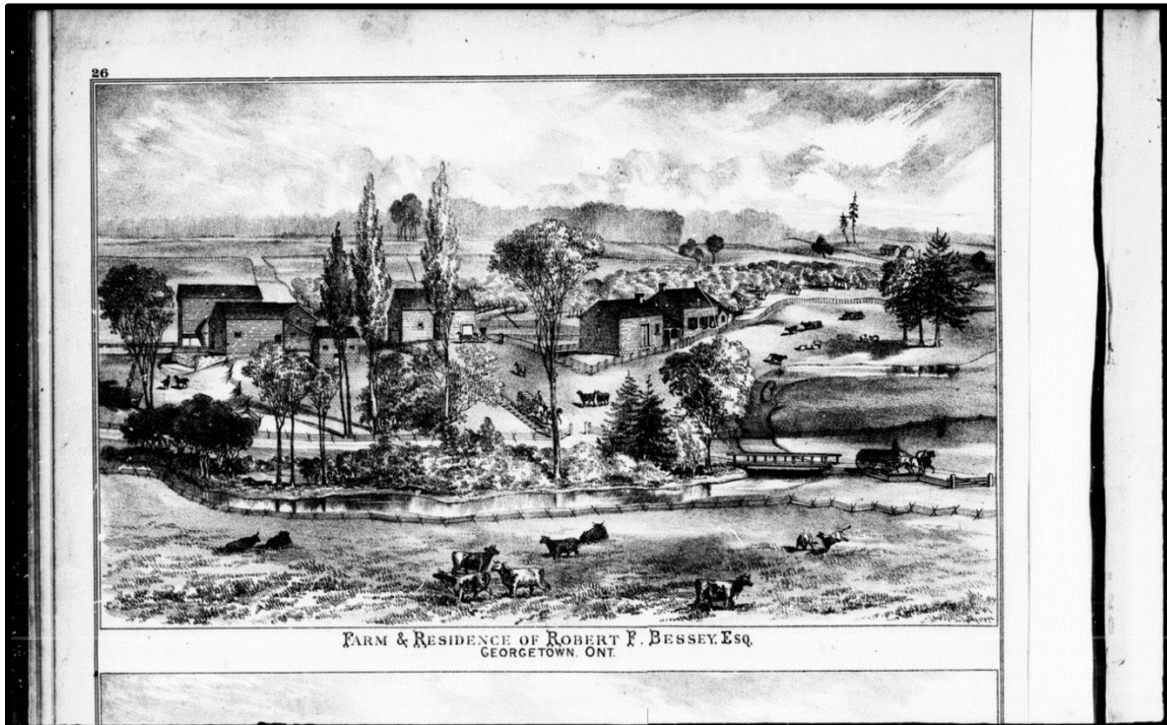


Figure 1: Farm & Residence of Robert F. Bessey in Georgetown
(Illustrated Altas of Halton, Pope 1877)

Instructions to Person Solemnizing Marriage: 26

Any person who solemnizes a marriage under the authority of this license within three clear days after the date thereof shall be guilty of an offence and shall incur a penalty of not more than \$100; provided, however, that the Provincial Secretary in his absolute discretion may authorize the solemnization of marriage within such three days, in which case there shall be no penalty hereunder.

After solemnizing the marriage, fill in the particulars and forward this LICENSE FORTHWITH to the REGISTRAR GENERAL, SPADINA HOUSE, TORONTO.

I certify that I solemnized the marriage of—

Bridegroom Harold Freeman Bessey
 Bride Ann Eliza McBride
 at Georgetown Ont
 on the 12 day of June 1916
 County of Halton ONTARIO

Witnesses:
 John Bessey
 Annie Saylor
 Joseph McBride
 Martha McNally
 Kenneth MacLean
 Registrar of Marriages Presbyterian

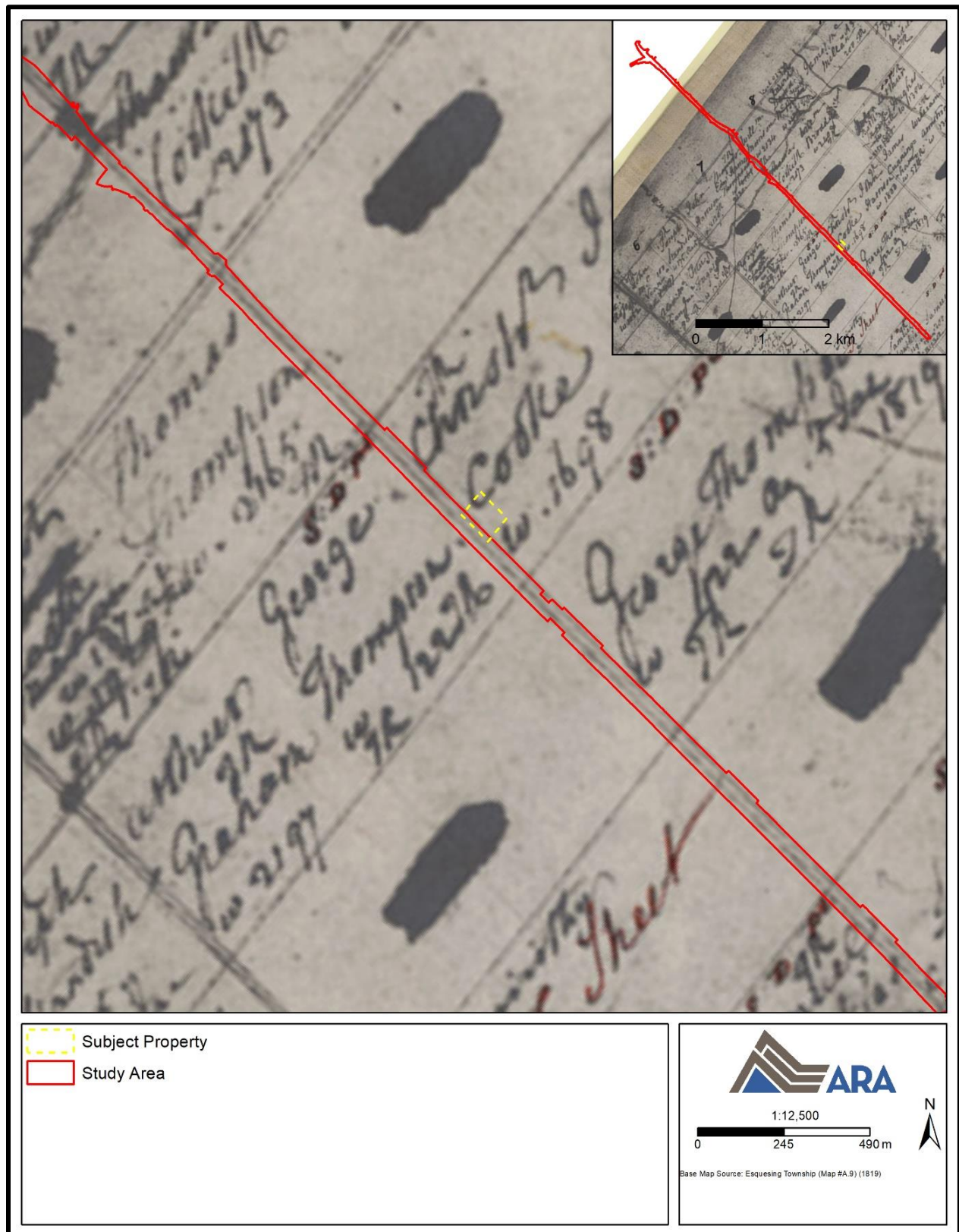
For statistical purposes, please furnish the following information:
 Bridegroom's Name Harold Freeman Bessey
 Bridegroom's Age 32
 Bridegroom's Religion Baptist
 Bridegroom's Occupation Farmer
 Bridegroom's Residence Terra Cotta
 Bridegroom's Place of Birth Georgetown Ont
 Bridegroom's Marital Status Single
 Bride's Name Ann Eliza McBride
 Bride's Age 25
 Bride's Religion Presbyterian
 Bride's Occupation Farmer's Daughter
 Bride's Residence Terra Cotta
 Bride's Place of Birth Georgetown Ont
 Bride's Marital Status Single

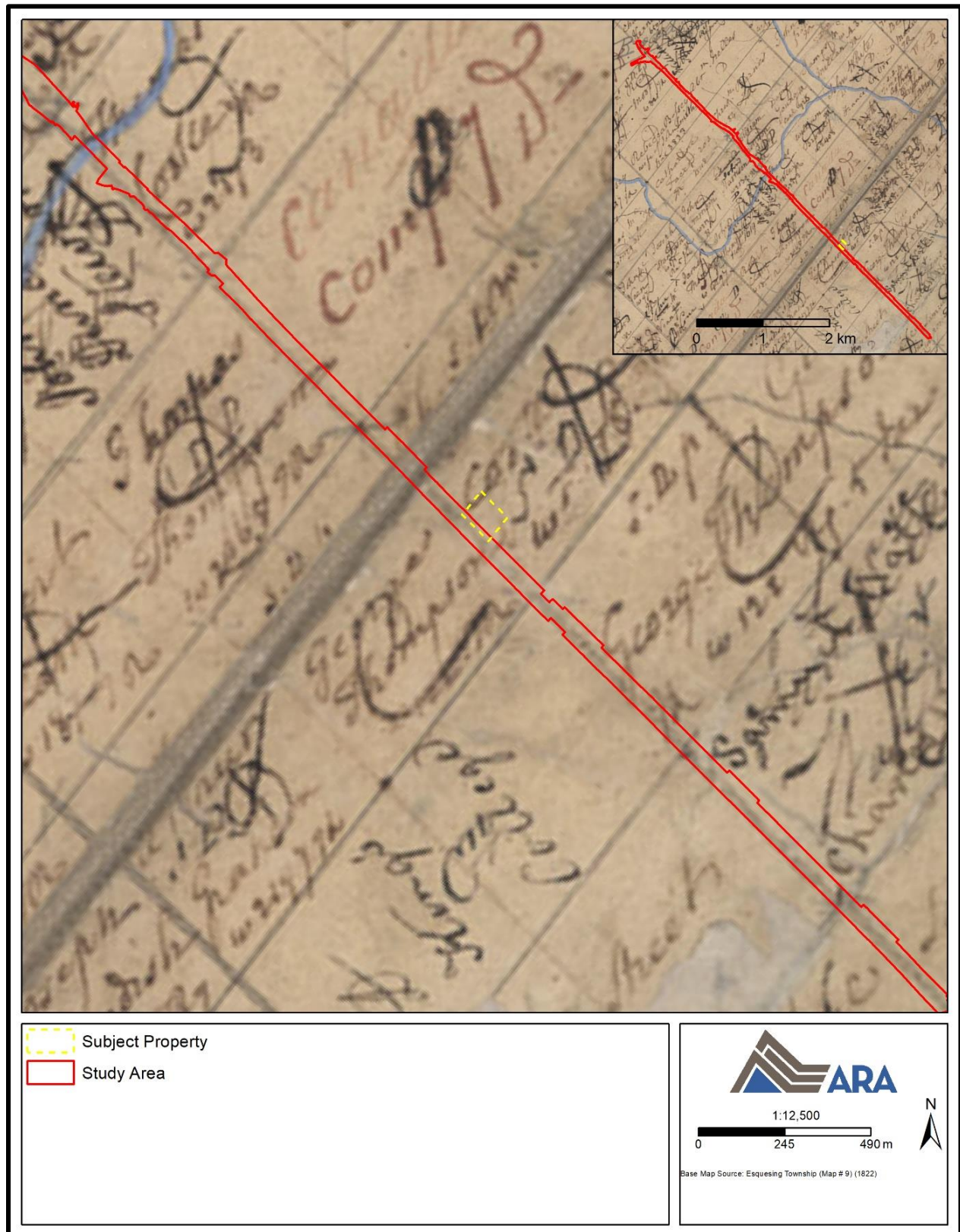
SWORN before me at the Town of Georgetown in the County of Halton this 12 day of June 1916
G. L. Heath Registrar of Marriages

Harold Freeman Bessey
 Ann Eliza McBride

18. If any person not registered with and certified by the Provincial Secretary, as hereinbefore provided, solemnizes or undertakes to solemnize any marriage, he shall incur a penalty of \$500 and shall also be liable to imprisonment for any term not exceeding twelve months, but such penalties shall be recoverable or imposed only by action at the suit of the Crown.

Figure 2: Harold Freeman Bessey and Ann Eliza McBride Marriage Certificate
(Archives of Ontario, 1926)

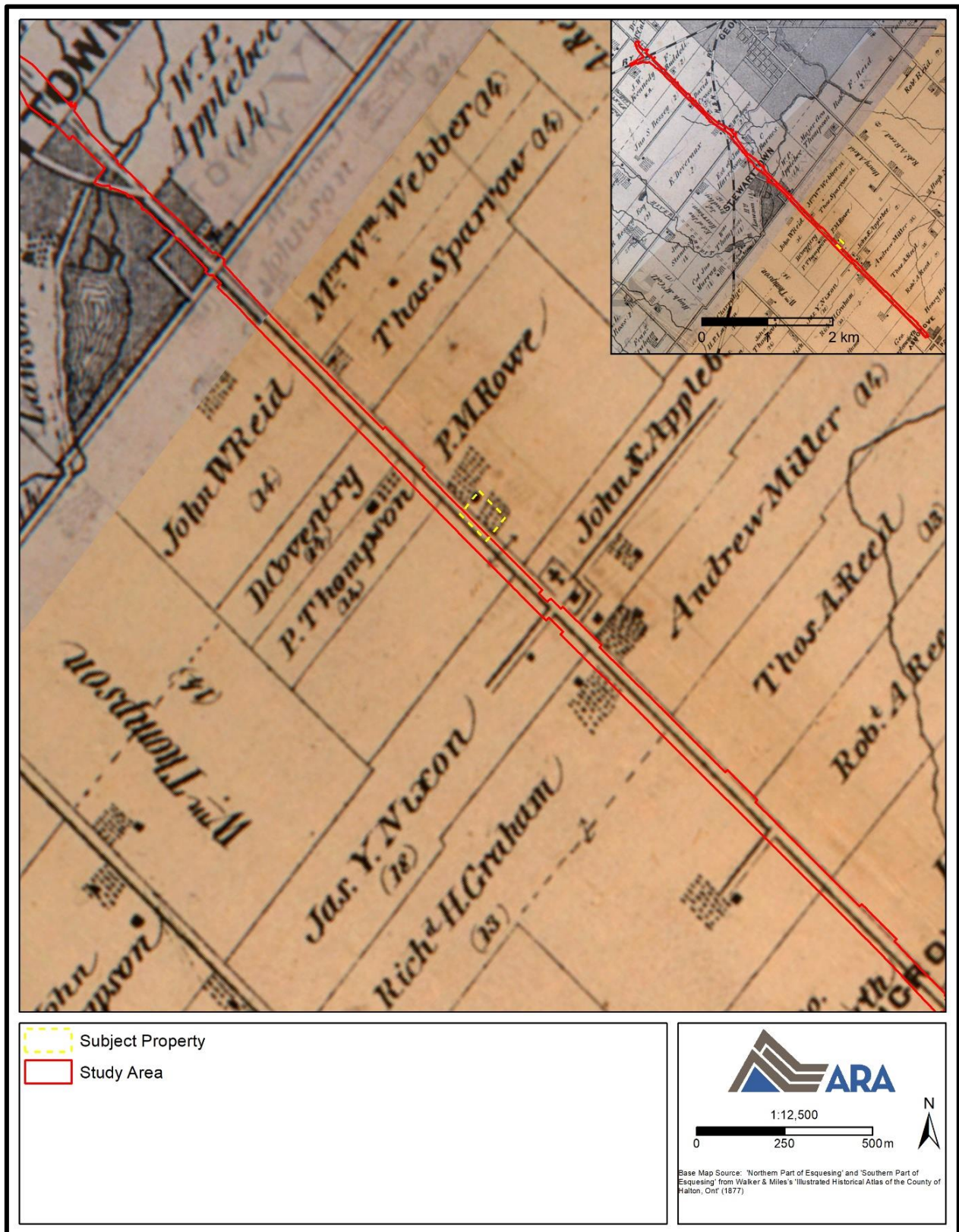




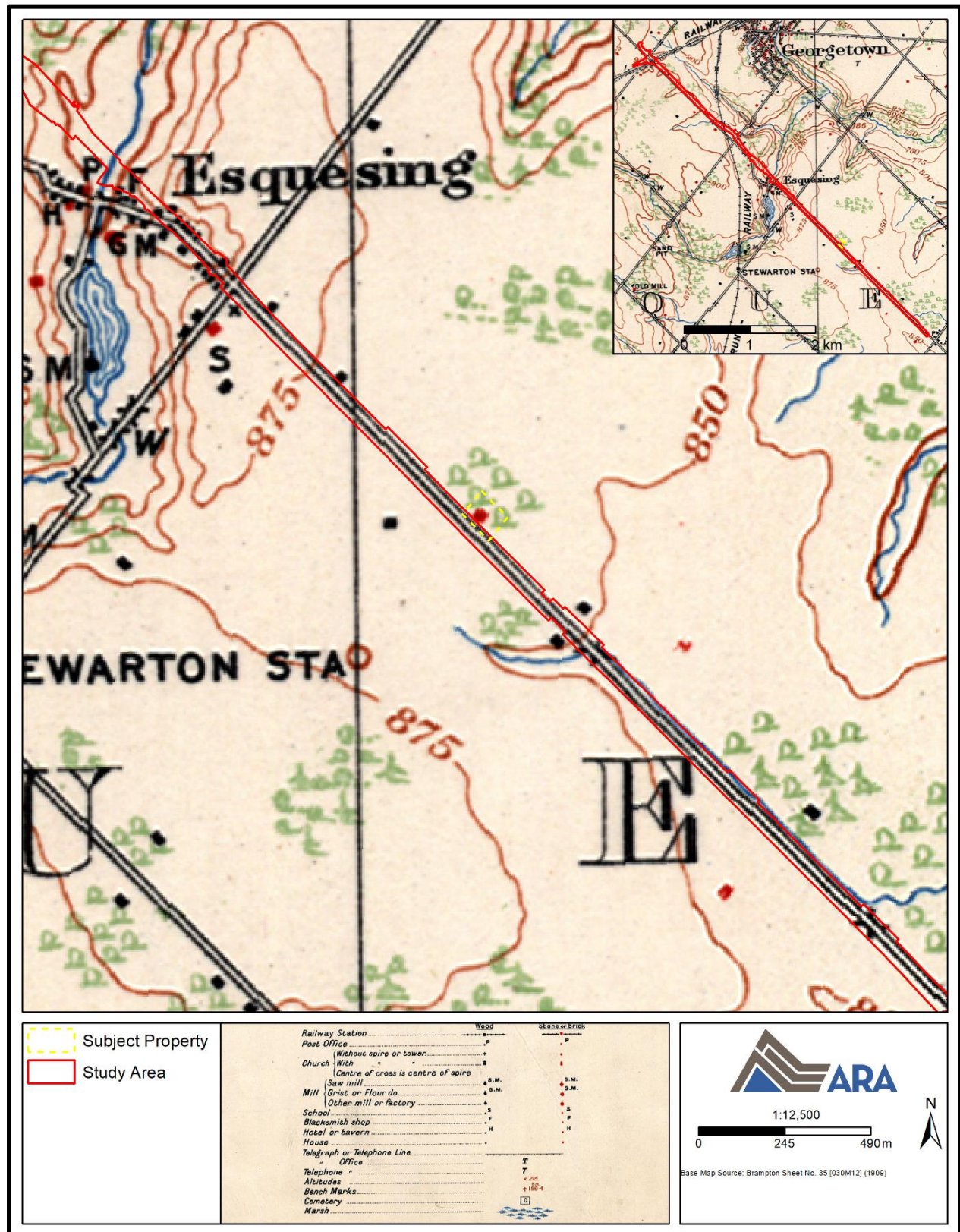
Map 4: 10677 Trafalgar Road and Study Area on 1822 Map

(Produced by ARA under licence using ArcGIS® software by Esri, © Esri', Archives of Ontario n.d.)





Map 6: 10677 Trafalgar Road and Study Area on 1877 Map
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri; OHCMP 2021)



Map 7: 10677 Trafalgar Road and Study Area on 1909 Topographic Map
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri; OCUL 2021)

5.0 FIELD SURVEY

The field survey component of the project involves the collection of primary data through systematic photographic documentation of all potential cultural heritage resources within the study area, as identified through historical research and consultation. Additional cultural heritage resources may also be identified during the survey itself. Photographs of the subject property are taken, as are general views of the surrounding landscape. The field survey also assists in confirming the location of each potential cultural heritage resource and helps to determine the relationship between resources. The *Ontario Heritage Tool Kit: Heritage Property Evaluation*, recommends that a property be evaluated at least twice (MHSTCI 2006a:19).

A field survey was conducted on August 30, 2021, to photograph and document the study area and record any local features that could enhance ARA's understanding of their setting in the landscape and contribute to the cultural heritage evaluation process. Legal permission to enter the subject property and conduct all necessary fieldwork activities on the subject property was granted by the property owner. Exterior and partial interior documentation was carried out. A second site visit was carried out from the public realm on August 31, 2021.

The subject property at 10677 Trafalgar Road was documented in a clockwise manner. Map 8 illustrates the location and direction of each photograph taken of the exterior of the structures and the surrounding context. The map and photos can be found in Appendix A.

6.0 PROPERTY DESCRIPTION

6.1 Contextual Surrounding

The subject property is located on the eastern side of Trafalgar Road between Sideroad 15 to the north and Sideroad 10 to the south (see Image 1 and Image 2). The subject property includes a one-and-a-half storey red brick residence and a timber frame outbuilding. The brick residence at 10677 Trafalgar Road is set back approximately 11 metres from Trafalgar Road (see Image 3). Trafalgar Road is a busy, two-way, paved road with gravel shoulders. There is a small cluster of detached residences located in the immediate vicinity of the subject property on either side of Trafalgar Road. An entrance to a commercial butcher is located directly across from the subject property on the west side of Trafalgar Road.

6.2 Arrangement of Buildings and Structures

The property at 10677 Trafalgar Road fronts towards Trafalgar Road and is accessed from a gravel driveway (see Image 4). The one-and-a-half storey brick residence has a small setback and is visible from Trafalgar Road. The gravel driveway is located on the southern side of the brick residence and continues past the residence, leading to a timber-framed outbuilding located in the northeast corner of the property. A small outbuilding that is placed on logs is located to the south of the timber-framed outbuilding.

6.3 Brick Residence Exterior

The brick residence at 10677 Trafalgar Road is an example of a vernacular style farmhouse from the early 19th century with Georgian architectural influences. It is believed to have been built circa 1860 (Halton Hill Municipal Heritage Register 2016). The residence has a side gable roof, with return eaves, and is constructed of red brick masonry and laid on a fieldstone foundation (see Image 5). The symmetrical façade is three-bays wide with a central entrance flanked by two small

two-over-two wooden sash windows. A brick chimney is located along the ridge line on the north elevation. The openings of the residence are framed by flat brick arches and a simple protruding stone sill (see Image 6). The sills are believed to be replacements due to a change in mortar consistency in the area around them. The façade door entry was originally a double entrance and has been modified into a single doorway positioned slightly right of centre (see Image 7). The wide, former positioning of the entryway is visible through a change in the brick course and colour. The central positioning and width of the former opening is emblematic of a typical Georgian style entrance. The façade masonry is laid in a Flemish bond pattern with an English corner detail (see Image 8).

The south elevation of the brick residence has six window openings with two on the second floor, two on the first floor and two located in the basement (see Image 9). The window openings on the first floor are two-over-two wooden sash windows with wooden storm windows. Similar to the façade window openings, the windows on the south elevation are framed by flat brick arches and stone sills. The side elevation's masonry is laid in a common bond pattern (see Image 10). A brick rear addition is visible from the south elevation. A stepped entrance to the addition is accessed from the south elevation and is flanked by two windows.

The rear elevation of the brick residence is predominantly obscured by the rear elevation (see Image 11). The elevation has four window openings from this view and a second entrance door located at the northeastern corner of the elevation. The rear elevation has a hip roof (see Image 12) and includes a moulded frieze.

The north elevation of the brick residence contains four window openings, two on the second storey and two on the basement storey (see Image 13). There are no window openings on the first floor. There is one window opening located on the north elevation of the rear addition. The masonry on the north façade is also laid in a common bond pattern. The wooden soffit and eave returns are visible from both side elevations (see Image 14). The basement window openings have been filled with vinyl window openings which are smaller than the existing window openings (see Image 15). There is evidence of mortar loss and brick bond deterioration on the north elevation, possibly related to a crack in the downspout located directly above the deteriorated area (see Image 16).

6.4 Brick Residence Interior

The interior of the brick residence was investigated during the field survey completed in August 2021. The interior of the residence features substantial baseboards, window and door trim (see Image 31 and Image 32). The façade entry door opens to an open living room space (see Image 33 and Image 34). The floor is covered in a laminate wood flooring. A wide interior opening connects the living room to the kitchen (see Image 35). There are two doorways in the northeast corner of the kitchen with the north door opening to stairs leading to the second storey and the east door opening to the rear addition of the house (see Image 36). The floor has been covered in a laminate floor covering (see Image 37). A bedroom is located on the ground floor and accessed through a doorway in the living room area (see Image 38 and Image 39). The trimwork in this room is unpainted. Many of the interior doors are six panel doors constructed of solid wood and connected using mortice and tenon joinery (see Image 40). There is a substantial hearth located in the first-floor bedroom (see Image 41). The first-floor bedroom has wooden flooring (see Image 42). A doorway on the east wall of the bedroom leads to a bathroom (see Image 43 - Image 45). A doorway in this bathroom further leads to the rear addition (see Image 46-Image 47).

The stairs located off the kitchen lead to the second floor. The stairs with a simple painted banister and squared balusters open to a hallway (see Image 48). The baseboards and window and door surrounds on the second floor are fairly rudimentary in comparison to the woodwork observed on the first floor. The wood flooring is constructed of wide planks of varying widths that have been painted and are oriented in an east-west direction (see Image 49-Image 50). Disruptions in the floor plank length suggest that the layout of the upper storey hallway was modified at some point. The location of this change in the plank size suggest that the residence's staircase may have been realigned at some point and was previously a centre hall floor plan. There is one window opening located on the northern wall of the hallway (see Image 51). The three doorway openings off this hall open to bedrooms (see Image 52-Image 54). These openings contain solid wood six-panel doors with metal hardware (see Image 55-Image 56). The other two bedrooms are of a similar size (see Image 57-Image 59).

Stairs leading to the basement are accessed through the bathroom on the first floor (see Image 60). Hand hewn floor beams were observed in the basement along with floor joists oriented in an east-west orientation (see Image 61). Breaks in the floor joist pattern further support the hypothesis that the residence may have been designed with a centre hall floor plan and was modified at some point. The basement currently has a concrete floor, and the fieldstone foundation is visible with portions of brick infill around the window wells and at the chimney (see Image 62). Brick deterioration along the chimney was observed.

6.5 Landscape Features

The subject property contains a number of mature trees with a mixture of coniferous and deciduous trees primarily situated in the western half of the property along Trafalgar Road. The brick residence is situated on top of a gentle rise in the topography, allowing for good drainage (see Image 17). The topography of the property is relatively flat outside of this slope with a small dip in the topography around the centre of the property. A concrete culvert located along the gravel laneway leading to the outbuilding spans this lower area (see Image 18). Outside of the gravel driveway, the entirety of the property is covered in mowed grass (see Image 19).

6.6 Outbuildings

6.6.1 Timber Frame Outbuilding

A large outbuilding is located at the northwest corner of the property. The gable roof is clad in metal sheathing with walls clad in either wooden board and batten siding or a metal siding. There are several openings of varying sizes located on the south elevation (see Image 20). Some of which are of wooden construction (see Image 21). A hand-hewn stretcher beam located below the exterior eaves was visible along the south elevation (see Image 22). Other door openings along the south elevation were constructed of glass and provided a view to the outbuilding's interior. The interior as viewed through these openings revealed the outbuilding is of timber-framed construction using large hand hewn beams that are connected using mortice and tenon joinery (see Image 23-Image 24). The east and north elevation have no window openings and are clad in wooden board and batten (see Image 25-Image 26). The west elevation also does not contain any openings and is clad in metal siding (see Image 27). Extended wooden roof rafters were observed from the exterior of the building (see Image 28).

6.6.2 Shed

A small, moveable shed is located to the south of the gable roofed outbuilding. The shed has been relocated at some point and currently sits on logs placed on the ground (see Image 29). The structure has a shed roof, one door opening and boarded up window openings. The shed was noted during the field survey for the wide width of the timbers used to construct the shed's walls (see Image 30). These timbers measured at 19 inches, suggesting the use of old growth wood. The interior of this shed was not investigated and a previous use of the shed was not determined.

7.0 HERITAGE ASSESSMENT

7.1 Cultural Heritage Resource Assessment for Trafalgar Road Widening (2016)

In 2016, Unterman McPhail Associates completed a CHRA for the *Class Environmental Assessment Study for Trafalgar Road (Regional Road 3) Transportation Corridor Improvements from Steeles Avenue (Regional Road 8) to Highway 7* (Unterman McPhail Associates 2016). The CHRA identified the subject property as BHR 35. The report notes the property was included on the Draft Town of Halton Hills Heritage Register Phase 3 on October 22, 2015. The following information was noted about the subject property:

Resource Type: Residential

Description: This vernacular, one and-a-half storey, red brick structure is set on a rubblestone foundation and has a side gable roof with return eaves and a chimney on north roof ridge. Window openings have stone sills (ground floor), wood lug sills (upper floor), radiating brick voussoirs, and 2/2 sashes (ground floor). The front door opening has been altered. There is a one storey modern wing added to the rear of the building. Historically the property formed part of the Peter M. Rowe farm (2016:44).

7.2 Municipal Heritage Register Inventory Sheet (2016)

In 2016 the subject property was added to the Town of Halton Hills Heritage Register. The cultural heritage values noted in the inventory sheet include:

- *Pre-confederation farmhouse linked to the theme of agricultural settlement and rural development.*
- *Representative of Vernacular style architecture, one and a half storey building including moulded frieze, return eaves, voussoirs, single chimney, two-over-two windows, and previous double entry now bricked in with single door (City of Halton Hill PH3).*

Furthermore, an O. Reg 9/06 evaluation was included in the property inventory sheet and noted the subject property meets criteria 1.i and 3.ii: These criteria are described as: 1. Design or Physical Value: i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method and 3. Contextual Value: ii) Is physically, functionally, visually or historically linked to its surroundings.

7.3 2018 Vision Georgetown Heritage Conservation Strategy (2018)

Unterman McPhail Associates completed an *Existing Conditions Report*, to help inform the larger Vision Georgetown Secondary Plan. As part of Phase 3 of the project, a study area from Lot 11

to 15 in the Eighth Concession in the Town of Halton Hills was examined resulting in the *Vision Georgetown Heritage Conservation Strategy* (Unterman McPhail Associates 2018). The key objectives of the Phase 3 Heritage Conservation Strategy Report as they relate to cultural heritage landscapes and built heritage resources are:

- *to understand the development of the study area through historical research and a review of historical mapping;*
- *to conduct a survey to update to current conditions of identified cultural heritage landscapes and built heritage resources found within and adjacent to the study area;*
- *to identify sensitivities for change;*
- *to provide an assessment of potential impacts to those cultural heritage resources identified in the study areas being potentially of cultural heritage value or interest to the Town of Halton Hills; and*
- *to make general conservation recommendations for affected built heritage resources and cultural heritage landscapes with respect to the proposed Vision Georgetown Secondary Plan (2018:1).*

The report identified the subject property as BHR 5 and noted the following information:

Resource Type: Residential: Former Farmhouse

Location: 10677 Trafalgar Road, east side (Lot 14, Con. 8, Geographical township of Esquesing), Town of Halton Hills.

Heritage Resource Description: This vernacular, 1 ½ storey, red brick structure is set on a rubble stone foundation and has a side gable roof with returned eaves and a chimney on north roof ridge. Window openings have stone sills (ground floor), wood lug sills upper floor, radiating brick voussoirs, and 2/2 sashes (ground floor). The front door opening has been altered. There is a rear 1 storey modern wing.

Known Heritage Recognition: Included on the Town of Halton Hills Heritage Register as a listed property. The Heritage Register notes the pre-confederation house is representative of Vernacular style of architecture and linked to the theme of agricultural settlement and rural development (2018:21).

Additional impacts, mitigation, and conservation strategy specific to proposed changes in the secondary plan for this property outlined in this report.

7.4 Evaluation of 10677 Trafalgar Road According to 9/06

Using the existing information provided in previous reports, the current heritage inventory form, the information gathered in the field survey, and additional historical and contextual research, an evaluation for the property according to O. Reg. 9/06 was conducted and can be found below in Table 3.

Table 3: Evaluation of 10677 Trafalgar Road Using O. Reg. 9/06

Evaluation of Property			
Criteria	Description	✓	Value Statement(s)
Design or Physical Value	Is a rare, unique, representative or early example of a style, type, expression, material or construction method	✓	<p>The brick residence at 10677 Trafalgar Road is a representative example of vernacular style farmhouse, with Georgian architectural style influences. The one-and-a-half storey building includes return eaves with molded frieze detailing, voussoirs, and two-over-two windows.</p> <p>The Flemish brickwork on the façade of the brick residence, and the common bond brickwork on the side and rear elevations is an expression of materials and construction method which is less commonly found in Pre-Confederation rural agricultural buildings.</p> <p>The timber-framed outbuilding at 10677 Trafalgar Road is a representative example of early timber framed construction method that used hand hewn materials to shape and secure timbers including mortice and tenon joinery secured by wooden pegs.</p>
	Displays a high degree of craftsmanship or artistic value		The brick residence and timber-framed outbuilding was built using common construction techniques for its construction period.
	Displays a high degree of technical or scientific achievement		10677 Trafalgar Road does not display a high degree of technical or scientific achievement.
Historical or Associative Value	Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community		Research completed for this report on 10677 Trafalgar Road did not reveal any direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
	Yields or has the potential to yield information that contributes to the understanding of a community or culture		Research completed for this report on 10677 Trafalgar Road did not reveal any evidence that the property has the potential to yield information that contributes to the understanding of a community or culture.
	Demonstrates or reflects the work or ideas of an architect, builder, artist, designer or theorist who is significant to a community		10677 Trafalgar Road does not reflect the work or ideas of a significant architect, builder, artist, designer, or theorist who is significant to the community. Research completed for this report did not reveal a notable builder or architect associated with the buildings.
Contextual Value	Is important in defining, maintaining or supporting the character of an area	✓	The brick residence at 10677 Trafalgar Road is important in supporting the character of Trafalgar Road which developed from a quiet colonial roadway to the major roadway that it is today.
	Is physically, functionally, visually or historically linked to its surroundings		The brick residence is not physically, functionally or historically linked to its surroundings.
	Is a landmark		10677 Trafalgar Road is not a landmark.

7.5 Heritage Attributes

An examination of the relationship between the heritage attributes and the cultural heritage value or interest outlined in Table 4 assisted with the development of the list of heritage attributes.

Table 4: Relationship of Heritage Attributes to Cultural Heritage Values

Cultural Heritage Value or Interest	Heritage Attribute
10677 Trafalgar Road is a representative example of a vernacular farmhouse with Georgian architectural influences.	<ul style="list-style-type: none"> • One-and-a-half storey vernacular residence with Georgian influences • Side gable roof with return eaves • Symmetrical, three-bay façade • Brick masonry laid in a Flemish bond on the façade and a common bond pattern on the side and rear elevations • Uncoursed fieldstone foundation • Rectangular window openings with brick jack arch • Decorative wooden molded roof cornice and frieze • Central entryway with brick jack arch • Brick chimney on north elevation • Remining wood windows casements
The timber frame outbuilding is a representative example of early timber framed construction method.	<ul style="list-style-type: none"> • Timber frame construction of outbuilding including mortice and tenon joinery secured by wooden pegs
10677 Trafalgar Road is important in defining, maintaining or supporting the character of an area	<ul style="list-style-type: none"> • One-and-a-half storey vernacular residence with Georgian influences • Location along Trafalgar Road

7.6 Statement of Cultural Heritage Value or Interest for 10677 Trfalagar Road

7.6.1 Introduction and Description of Property

10677 Trafalgar Road is located on Part Lots 18 and 19, Concession 9 in the Town of Halton Hills. The property is situated to the west side of Trafalgar Road, south of the historic community of Stewwartown in the current Town of Halton Hills. The property contains a one-and-a-half storey red brick residence constructed in the early 19th century and was in place by at least 1861

7.6.2 Statement of Cultural Heritage Value/Statement of Significance

10677 Trafalgar Road has design or physical value as a representative example of a vernacular farmhouse with Georgian influences. The one-and-a-half storey structure is constructed using Flemish bond brick masonry with an English corner detail on the facade and common bond brick masonry on side and rear elevations. The brick detailing is a not a unique feature but is less commonly found in a rural agricultural building built during this time period. The building displays Georgian architectural influences which include the symmetrical three-bay façade, the central doorway, rectangular window openings and gable roof with return eaves. The one-and-a-half storey building has frieze detailing, voussoirs, and two-over two windows.

10677 Trafalgar Road has design or physical value as the timber-framed outbuilding and is a representative example of early timber framed construction methods. The timber-framed outbuilding was constructed using hand hewn materials to shape and secure timbers including mortice and tenon joinery secured by wooden peg. This is no longer a common building technique.

10677 Trafalgar Road has contextual value as an early 19th century farmstead settled along Trafalgar Road. While not actively farmed, the house provides a visual reminder of the area's development from a former rural, agricultural setting. The timber-framed outbuilding provides a

contextual understanding into the growth of the surrounding neighbourhood as well as the rural character that formerly defined the length of Trafalgar Road through the Township of Esquesing.

Cultural Heritage Attributes

10677 Trafalgar Road is a representative example of a vernacular farmhouse with Georgian architectural influences. The property contains the following heritage attributes which reflect these values:

- One-and-a-half storey vernacular residence with Georgian influences
- Side gable roof with return eaves
- Symmetrical, three-bay façade
- Brick masonry laid in a Flemish bond on the façade and a common bond pattern on the side and rear elevations
- Uncoursed fieldstone foundation
- Rectangular window openings with brick jack arch
- Decorative wooden molded roof cornice and frieze
- Central entryway with brick jack arch
- Brick chimney on north elevation
- Remining wood windows casements

The timber frame outbuilding a representative example of early timber framed construction methods. The property contains the following heritage attributes which reflect these values:

- Timber frame construction of outbuilding including mortice and tenon joinery secured by wooden pegs

10677 Trafalgar Road is important in defining, maintaining or supporting the character of an area. The property contains the following heritage attributes which reflect these values:

- One-and-a-half storey vernacular residence with Georgian influences
- Location along Trafalgar Road

8.0 DESCRIPTION OF PROPOSED DEVELOPMENT

The 2016, Unterman McPhail Associates CHRA for the *Class Environmental Assessment Study for Trafalgar Road (Regional Road 3) Transportation Corridor Improvements from Steeles Avenue (Regional Road 8) to Highway 7* report identifies the following impacts of the Trafalgar Road Widening and Mitigation Measures:

Impacts: Indirect. The residence is located close to the roadway and there will be physical change to the existing character of the property due to the widening of Trafalgar Road.

Mitigation: Review Contract Drawings 100% to confirm design has not changed in this area. Remedial landscaping in the form of fencing and/or vegetation may be required. Consultation with the property owner will be conducted to determine the preferred approach. No further mitigation is anticipated (2016:82)

An understanding of the preferred alternative of the proposed development is described by R.V. Anderson as:

Trafalgar Road is a major north-south arterial Regional Road in Halton Region that runs between Lake Ontario in Oakville and 32 Side Road in Erin. Trafalgar

Road serves the movement of goods and people and distributes traffic to and from the Provincial highway system, as well as providing access to residential, commercial and industrial land uses in the Towns of Oakville, Milton and Halton Hills.

On a Regional planning level, the need for improvements on Trafalgar Road were identified in the Halton Region Transportation Master Plan to 2031 – The Road to Change (October 2011), as well as the Region's Active Transportation Master Plan to support road users of all modes. In addition, future developments are anticipated in the Town of Halton Hills, including Vision Georgetown bounded by Trafalgar Road, Eighth Line, 10 Side Road and 15 Side Road which will increase traffic volumes on the roadway.

Given the above, Halton Region completed a Class Environmental Assessment (Class EA) Study for improvements on Trafalgar Road in order to support future traffic demand based on planned land uses. The Class EA resulted in the recommend design to support the improvements to accommodate the future traffic demands and users of all modes.

In order to accommodate the required improvements to the transportation network, Trafalgar Road is to be widened from a 2-lane cross section to and 4-lane cross section with 1.5m bike lanes on each side, a center two-way left turn lane and a 3.0m wide multi-use pathway on the east side (R.V. Anderson 2021).

Given the preferred alternative, the residence at 10677 Trafalgar Road is now proposed for demolition (see Figure 3).

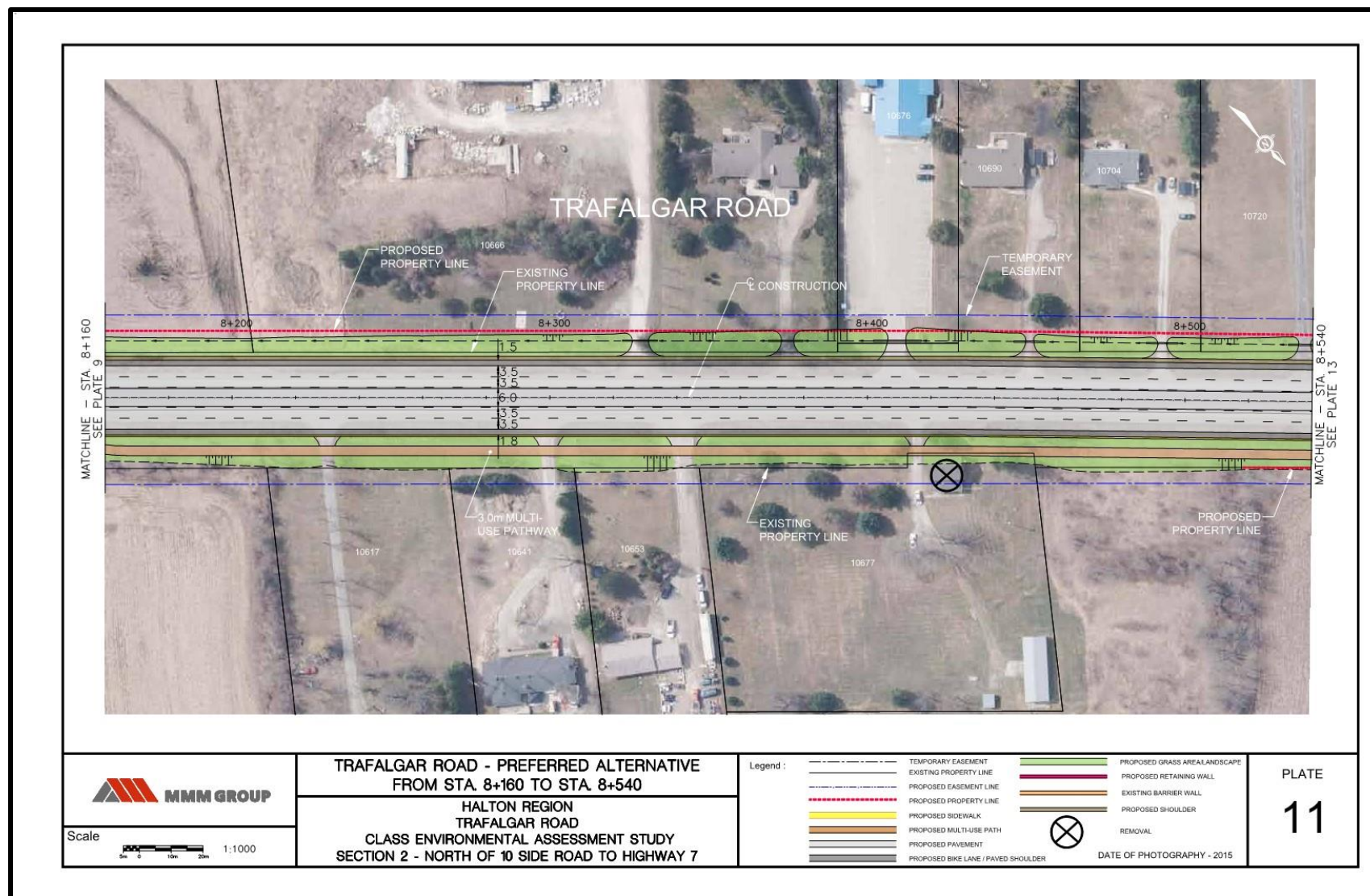


Figure 3: Site Plan for Preferred Alternative
(MMM Group, 2021)

9.0 ANALYSIS OF IMPACT ASSESSMENT

9.1 Direct and Indirect Impacts

The MHSTCI *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (2006b:3) provides a list of potential negative impacts to consider when evaluating any proposed development. Impacts can be classified as either direct or indirect.

Direct impacts (those that physically affect the heritage resources themselves) include, but are not limited to: initial project staging, excavation/levelling operations, construction of access roads and renovations or repairs over the life of the project. These direct impacts may impact some or all significant heritage attributes or may alter soils and drainage patterns and adversely impact unknown archaeological resources.

Indirect impacts include, but are not limited to: alterations that are not compatible with the historic fabric and appearance of the area; alterations that detract from the cultural heritage values, attributes, character or visual context of a heritage resource. This could include the construction of new buildings; the creation of shadows that alter the appearance of an identified heritage attribute; the isolation of a heritage attribute from its surrounding environment; the obstruction of significant views and vistas; and other less-tangible impacts.

InfoSheet #5: Heritage Impact Assessments and Conservation Plans (MHSTCI 2006b:3) provides an overview of several major types of negative impacts, including but not limited to:

- Destruction of any, or part of any, significant heritage attributes;
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- Isolation of a heritage attribute from its surrounding environment, context or significant relationship;
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource (MHSTCI 2006b).

9.1.1 Preferred Alternative for 10677 Trafalgar Road

The preferred alternative approach for the Trafalgar Road widening project anticipates a complete removal of the brick residence. An assessment of impacts on the subject property at 10677 Trafalgar Road can be evaluated using the negative impacts presented in *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (MHSTCI 2006b). The impacts are examined below in Table 5.

Table 5: Impact Evaluation of Preferred Design Alternative
(Adapted from MHSTCI 2006c:3)

Type of Negative Impact	Applicable? (Y/N)	Comments
Destruction of any, or part of any, significant heritage attributes.	Y	The preferred alternative design seeks the removal of the brick residence and associated heritage attributes. The preferred alternative design does not seek the removal of the timber-framed outbuilding as it is proposed to remain <i>in situ</i> . There is the potential for impacts to/destruction of timber-framed outbuilding as a result of accidental damage during the construction process. For instance, accidental impacts may happen as the result of movement of construction equipment and/or continued exposure to vibrations caused during the demolition of the house.
Alterations to a property that detract from the cultural heritage values, attributes, character or visual context of a heritage resource; such as the construction of new buildings that are incompatible in scale, massing, materials, height, building orientation or location relative to the heritage resource.	Y	The preferred alternative design will alter the contextual relationship of the early 19 th century farmhouse and its location along Trafalgar Road.
Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden.	N	The preferred alternative design will not create any shadows that will alter the appearance of a heritage attribute. The proposed roadway development does include the removal of some trees located on the west side of the subject property's boundary; however, no natural feature or plantings were identified as heritage attributes.
Isolation of a heritage attribute from its surrounding environment, context or significant relationship.	Y	The preferred alternative design will isolate the outbuilding from the contextual relationship between the brick residence (former farmhouse) and the road as well as between the brick residence (former farmhouse) and the timber-framed outbuilding.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.	N	The preferred alternative design will not cause any direct or indirect obstruction of views as no significant views and vistas were not identified as a heritage attribute.
A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.	Y	The preferred alternative design is expected to result in a portion of property's land use changing from residential to transportation/roadway.
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.	N	The preferred alternative design is anticipated to result in land disturbance, however Archaeological considerations are being considered and addressed as part of the large EA process.

As Table 5 summarizes, the heritage attributes of 10677 Trafalgar Road will be directly adversely impacted by the preferred alternative design as defined by MHSTCI *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (2006b). The impacts include:

- Impact 1 – The preferred alternative will result in the removal of the brick residence and associated heritage attributes.
- Impact 2 – There is the potential for impacts to/destruction of the timber frame outbuilding as a result of accidental damage during the demolition of the house.
- Impact 3 – The preferred alternative will alter the contextual relationship between the brick residence (former farmhouse) and the outbuilding.
- Impact 4 – The preferred alternative will isolate the outbuilding from the contextual relationship between the brick residence (former farmhouse).
- Impact 5 – The preferred alternative design is expected to result in a portion of property's land use changing from residential to transportation/roadway.

10.0 ALTERNATIVES

There are a number of options that have been examined.

10.1 Option 1 Do nothing

The 'Do Nothing' option would maintain the property and roadway as is. Trafalgar Road would remain two lanes and the property would remain as is and listed under Section 27 of the OHA. This option is not feasible as the Trafalgar Road widening has been deemed necessary and undergone significant study and planning efforts.

10.2 Option 2 Realignment or Narrowing of the Road

The mitigation measures outlined in the 2016 CHAR suggested that "remedial landscaping in the form of fencing and/or vegetation may be required" (2016:82). Upon a more detailed review of the preferred alternative design, it is noted that the proposed right of way and edge of the proposed road will run in parallel with the façade of the house. The inclusion of fencing and/or vegetation is not feasible in the preferred alternative approach for the Trafalgar Road widening project.

When considering realignment or narrowing of the road to accommodate the retention of 10677 Trafalgar Road *in situ*, R.V.A. noted that,

In order to accommodate the required improvements to the transportation network, Trafalgar Road is to be widened from a 2-lane cross section to and 4-lane cross section with 1.5 m bike lanes on each side, a center two-way left turn lane and a 3.0 m wide multi-use pathway on the east side.

The widening of the roadway is generally proposed to be completed equally about the centreline of the existing roadway. Property frontage is proposed to be purchased on the west side of the roadway to maintain a consistent right of way width and place the widened roadway within the middle of the right of way. In addition to the road works the overhead hydro line on the west side of the right of way needs to be relocated to the west. In order to meet the objectives of the Master Plans and EA bike lanes and a multi-use pathway are required. Narrowing the boulevard is not feasible as it would place the pathway closer to the road which is not consistent with safety requirements. Narrowing the road in the area of this property would also not be feasible as maintaining consistent lane widths is important for user expectations and safety. Finally, a new 750mm diameter watermain is proposed and given the hydro on the west side of the roadway

placement in the east boulevard is the most feasible location and would be too close to the house.

As a result of the widening and the constraints, the existing house at 10677 Trafalgar Road will be impacted by the roadway grading, utilities and the multi-use trail and cannot remain in its current location (R.V. A. 2021).

10.3 Option 2 – Relocation of House within the Property and Retention of Outbuilding

The option to relocate the house within the existing property was examined in detail. This option seeks to retain the house and relocate it within the existing lot. A structural visual condition assessment was completed by R.V. Anderson Associates Ltd. in November 2021 as outlined in Section 8.0. to determine the feasibility of this option. The report examined the feasibility of relocating the structure

The assessment noted changes to the floor framing structure with the addition of two temporary steel supports, a relocation of the basement staircase opening as well as the relocation of the ground floor to second floor staircase. The assessment concluded that the structure is constructed of solid masonry walls and noted areas that show brick deterioration and the existence of some diagonal cracks primarily located around the edges of window openings. The assessment noted inward bowing on the top portion of the north wall that may constitute a deterioration of the structural integrity of the building's shear wall system.

The assessment concluded with the following discussion and recommendations:

In view of the above account that, there is a significant structural impairment of the existing lateral load resisting system of the building structure, it is our professional opinion that, this building cannot be successfully relocated without extensive and costly structural reinforcement, bracing and shoring. Disintegration of portions of the building exterior components would be expected to occur even with the above-mentioned measures. The existing stone foundation cannot be salvaged for relocation using any reasonable conservation methods.

Hence, we recommend that if the existing building conflicts with the road widening works, the building should be demolished unless the substantial costs of relocation can be justified. The relocation of this structure would be expected to cost between \$400,000 and \$600,000 including the new foundation that would be required. Even with the required expenditure, the relocation would be expected to be only partially successful, and many elements of the structure would require repair or replacement (R.V. Anderson 2021).

R.V. Anderson's report also noted that the building would likely experience further deterioration during the move that would require later restoration. R.V. Anderson's report concluded that if the house conflicts with the proposed road widening project, the house should be demolished unless the cost of relocation can be justified (R.V. Anderson 2021:3).

The outbuilding, which is located outside of the impacted project area, was not discussed in this assessment. Additionally, this option was discussed with the current property owner. Through written correspondence, the current property owner has advised that they are in support of demolition of the house (R.V. Anderson Correspondence 2021).

10.4 Summary of Alternative Options

The removal of the 10677 Trafalgar Road as part of the preferred alternative for the Trafalgar Road widening was shown to have negative impacts on the CHVI of 10677 Trafalgar Road. Various alternatives were considered as part of the HIA. Based on the constraints of the required road widening the retention of 10677 Trafalgar Road *in situ* is impractical. Moving the building on site was also examined and it was determined that the building would likely experience further deterioration during the move that would require later restoration. Mitigation measures for the proposed demolition have been identified in the following sections to reduce the negative impacts.

11.0 MITIGATION MEASURES

If potential impacts to identified heritage resources are determined, proposed conservation or mitigative/avoidance measures must be recommended. The impacts which are addressed by each proposed mitigation measure are provided in brackets for reference.

11.1 Cultural Heritage Resource Documentation (Impact 1 and Impact 5)

Cultural Heritage Resource Documentation (CHRD) provides in-depth documentation of the buildings. The process involves photographic documentation of the structure as a whole from all (accessible) angles as well as detailed photographs of all elements. Contextual photographs are also taken of the landscape surrounding the resource. These photographs are recorded on a photo map. A physical description of the resource and detailed description of the landscape and context are also included in the report. Additional measured drawings, land use history, archival photographs or maps obtained could also be added to the report. The CHRD could also include 3D laser scan capture and/or a digital 3D model of the building. This report provided to local municipalities, stakeholder groups, local historical societies, museums, archives and/or libraries as part of the public record. The completion of a CHRD should be carried out prior to demolition.

Detailed photographic and written documentation of 10677 Trafalgar Road has been completed as part of the HIA (Appendix A), however it should be confirmed that the existing documentation has been completed to the satisfaction of Town staff.

11.2 Material Salvage and Reuse (Impact 1)

In instances of building demolition/removal, the salvage of building materials is considered good practice for the retention of historic materials. Further, salvage positively contributes to climate change mitigation by diverting waste from landfill and providing an opportunity to extend the lifespan of materials and their embodied carbon footprint. As such, the salvage of interior and exterior materials should be encouraged as part of the site alteration and considered for reuse into future landscape design in public spaces and/or new construction. If any of the materials listed below can be salvaged, they should be removed carefully. Materials which may be worthy of salvage or reuse can extend beyond those elements which may be considered to possess historical, architectural or cultural value to historical fabric in order to align best practices for sustainability.

Items to be considered for salvage and/or integration into public spaces or new design include:

- Exterior brick
- Two-over-two wooden sash windows
- Heavy wooden timbers (i.e., structural support beams found in floor framing)

- Any interior features worthy of salvage and reuse including
 - Metal hardware found on windows, doors or fixtures
 - Wooden six-panel doors
 - Molded wooden trim and baseboards
 - Wood plank flooring
 - Fireplace mantle
 - Staircase balusters and handrail
- Any appliances.

The following recommendations for the salvage and reuse of materials are suggested:

- A reputable contractor(s) with proven expertise in salvage removal should be obtained.
 - The Architectural Conservancy of Ontario (ACO) North Waterloo Region maintains a *Directory of Heritage Practitioners* located in Ontario that claim to have experience with heritage and/or older properties. The section dedicated to “Moving, Dismantling and Salvage” could be referred to for salvage contacts, however, it is recommended that references and/or previous work be assessed before engaging with any of the listed businesses. The ACO directory is available online at: [Moving, Dismantling & Salvage - ACO North Waterloo Region \(aconwr.ca\)](http://aconwr.ca)
- The ultimate destination of salvaged materials should be determined prior to the initiation of any salvage process;
- Materials should only be salvaged if they are suitable for re-use in other buildings or projects, i.e., the material must not be irreparably damaged or infested;
- The material must be extracted in a manner that ensures that it is not irreparably damaged;
- Consider the incorporation of salvaged materials, such as bricks, stone, timber beams, wood planks, floorboards, etc. into the proposed development, potentially in the form of landscaped features, planters, pavilions/shade structures or lobby features (see Section 11.2); and
- Any materials not deemed salvageable, but which are still recyclable should be recycled in an effort to reduce the amount of material sent to a landfill.

11.3 Commemoration & Interpretation Plan (Impact 1, Impact 3, Impact 4 and Impact 5)

Conservation through a Commemoration and Interpretation Plan allows the historical value of a property proposed for removal to be expressed and communicated to the public. The retention of components of a building for reuse prior to its demolition, or selective removal of identified architectural or landscape elements preserves portions or features of buildings and structures that possess historical, architectural or cultural value and can divert them from becoming landfill material. A removal and reuse program would allow for the conservation of key components of a structure, or unique features which can express the architectural, historical or contextual heritage value through commemoration.

Given that the building is constructed of brick and stone, there are materials that can be salvaged for reuse in public spaces or other buildings (see Section 11.2 Material Salvage and Reuse). However, some exterior and/or interior features could be selectively removed for interpretive elements. This could include the brick associated with the existing structure and may also include elements such as the stone used in the house’s foundation or doors/windows.

The Commemoration and Interpretation Plan would outline symbolic conservation methods through techniques such as plaques and the integration of original materials (i.e., brick masonry, windows or doors). A sign(s) placed within the proposed development accessible to passing

residents and visitors using the newly integrated pedestrian/bike lanes, which would serve to convey information about the property's connection with the development of Trafalgar Road and the rural area surrounding the historic village of Stewarttown. Through the use of text and historical images, the cultural heritage value of 10677 Trafalgar Road, as well as the historical relationship with surrounding area, can be expressed to the public.

A Commemoration and Interpretation Plan would:

- Explore options of integrating salvaged materials into the landscape plan as part of the newly integrated pedestrian/bike lanes;
- Recommend signage locations; and
- Outline graphics and text for signage

The development of a Commemoration and Interpretation Plan should be completed prior to demolition activities in order to carry out any potentially recommended actions (i.e., salvage, further documentation). Installation of the interpretive elements may follow demolition as part of the site redevelopment. It is recommended that Heritage Halton Hills be consulted on the Commemoration and Interpretation Plan with respect to the form, design and location of the proposed commemoration.

11.4 Temporary Protection Measures (Impact 2)

To protect the outbuilding during the construction period of the road and demolition of the house, temporary protection measures should be developed. Currently there is only the potential for accidental physical impacts. The outbuilding should be marked on the construction plans. Temporary construction fencing should be erected as a buffer between the outbuilding and the development/demolition areas. The fencing should be erected at a sufficient distance to ensure that there will be no direct or indirect impacts to the outbuilding as a result of the construction activities or equipment. Measures should also include a communication protocol that details who needs to be informed about the heritage attributes and who should be contacted if there is an issue with the building. Measures should include a plan for potential physical impact (i.e., a plan if there is any damage resulting from machinery).

11.5 Update Existing Register (General)

The preferred alternative design will result in the removal of 10677 Trafalgar Road and the heritage attributes associated with the property. As such, it will no longer warrant inclusion on the Town of Halton Hills Heritage Register. It is recommended that the Town of Halton Hills Heritage Register be updated, and that 10677 Trafalgar Road be removed.

12.0 IMPLEMENTATION AND MONITORING

Below, Table 6 outlines the recommended conservation/mitigative/avoidance measures addressed to conserve the cultural heritage resource(s) as the development is undertaken.

Table 6: Implementation Schedule

Construction Phase	Mitigation Measures	Due Diligence	Road Tendering and Construction	Construction Management Plan
Pre-Construction	Documentation	✓		
	Salvage Plan	✓		✓
	Material Reuse	✓	✓	
	Landscape and vegetation screening		✓	
Construction	Commemoration and Interpretative Plan		✓	
	Temporary Protection Measures		✓	✓

13.0 SUMMARY OF FINDINGS AND CONSERVATION RECOMMENDATIONS

The O. Reg 9/06 evaluation within this HIA confirms 10677 Trafalgar Road has CHVI and has met criteria for design and contextual value. The preferred option as part of the EA is the removal of the residence and retention of the outbuilding.

Potential negative impacts to 10677 Trafalgar Road may result from the preferred alternative to the Trafalgar Road widening including:

- The proposed development involves the complete removal of the brick residence at 10677 Trafalgar Road and associated heritage attributes.
- There is the potential for impacts to/destruction of timber frame outbuilding, as a result of accidental damage during the construction process.
- The proposed preliminary design will alter the contextual relationship between the brick residence (former farmhouse) and the outbuilding
- The proposed preliminary design will isolate the outbuilding from the contextual relationship between the brick residence (former farmhouse).
- The preferred alternative design is expected to result in a portion of property's land use changing from residential to transportation/roadway.

A variety of alternative design options were considered including retention of the residence *in situ* through the "Do Nothing" approach realignment/narrowing of the road widening in this section, as well as the relocation of the house within the property. Based on project requirements and constraints the removal of the house and the retention of the outbuilding was determined to be the most practical option. Mitigation measures have been included to reduce, but not eliminate, the negative impact which result from the removal of the brick building.

The following conservation/mitigation measures are recommended:

- Cultural Heritage Resource Documentation (CHRD) of the subject property. Detailed photographic and written documentation of 10677 Trafalgar Road has been completed as part of the HIA. It should be confirmed that the existing documentation has been completed to the satisfaction of Town staff.
- Material Salvage and Reuse is recommended. Materials from the residence should be salvaged by a salvage company or as part of the Commemoration and Interpretation Plan.
- A Commemoration and Interpretive Plan for 10677 Trafalgar Road would:
 - 1) Explore options of integrating salvaged materials into the landscape plan as part of the newly integrated pedestrian/bike lanes.

- 2) Recommend signage locations; and
- 3) Outline graphics and text for signage.
- To protect the outbuilding during the construction period of the road and demolition of the house, temporary protection measures should be developed. Temporary construction fencing should be erected as a buffer between the outbuilding and the development/demolition areas. Measures should also include a communication protocol that details who needs to be informed about the heritage attributes and who should be contacted if there is an issue with the building.

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Appendix A: Subject Property Images



Map 8: Photo Location Map at 10677 Trafalgar Road
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri)



Image 1: 10677 Trafalgar Road – View of Property from Trafalgar Road
(Photo taken August 30, 2021; Facing Northwest)



Image 2: Brick Residence at 10677 Trafalgar Road as Viewed from Roadway
(Photo taken August 30, 2021; Facing Northeast)



Image 3: Distance Between Trafalgar Road and Brick Residence
(Photo taken August 30; Facing North)



Image 4: Brick Residence from Driveway
(Photo taken August 30, 2021; Facing Northeast)



Image 5: Brick Residence Façade
(Photo taken August 30, 2021; Facing Southeast)



Image 6: Flat or Jack Brick Arches on Window Openings
(Photo taken August 30, 2021; Facing East)



Image 7: Altered Brick Residence Façade Entryway
(Photo taken August 30, 2021; Facing East)

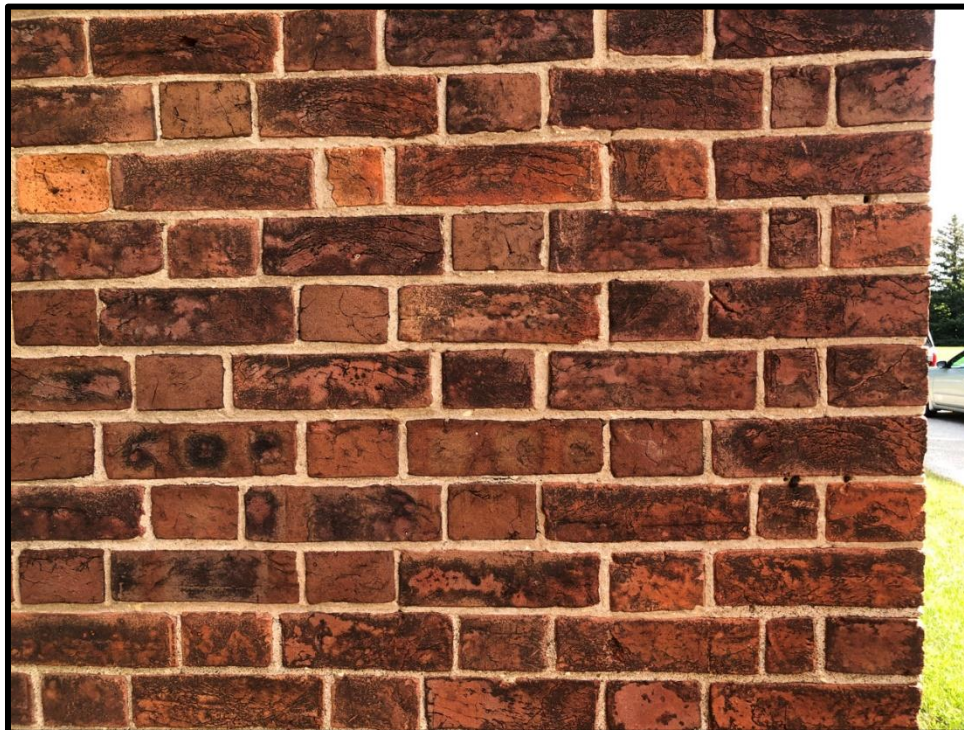


Image 8: Brick Residence Brickwork Laid in Flemish Bond with English Corner Detail
(Photo taken August 30, 2021; Facing East)



Image 9: Brick Residence Southeast Elevation and Rear Addition
(Photo taken August 30, 2021; Facing Northwest)

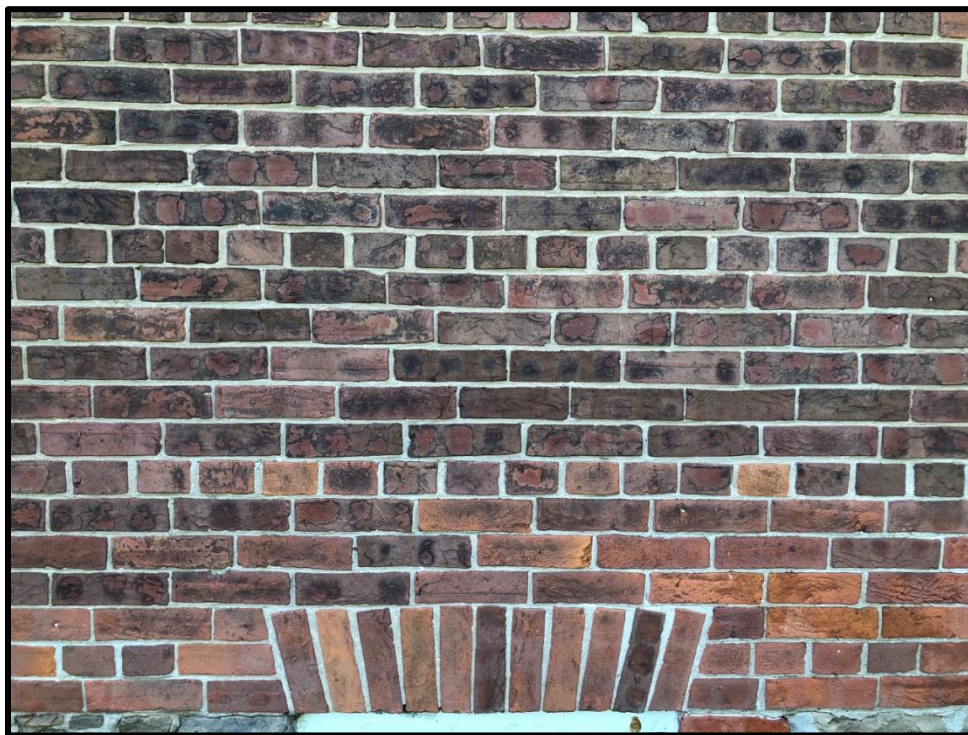


Image 10: Common Bond Brickwork on Side and Rear Elevation
(Photo taken August 30, 2021; Facing Northwest)



Image 11: Rear Addition to Brick Residence
(Photo taken August 30, 2021; Facing Southwest)



Image 12: Rear and Northwest Elevation of Brick Residence
(Photo taken August 30, 2021; Facing South)



Image 13: Brick Residence North Elevation
(Photo taken August 30, 2021; Facing South)

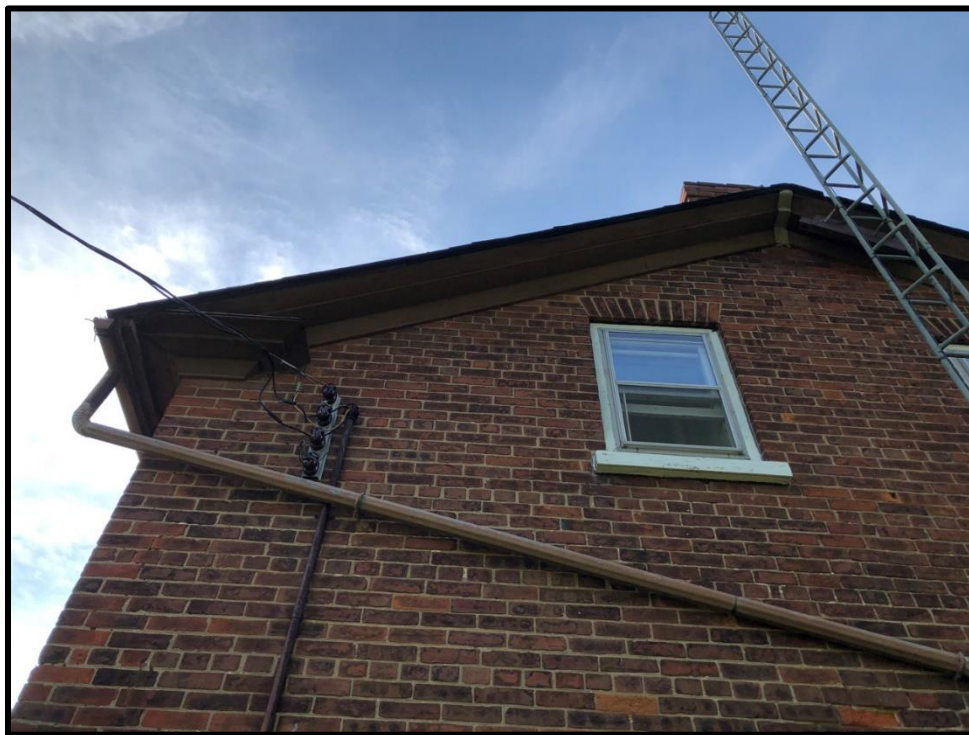


Image 14: Brick Residence Eave Returns
(Photo taken August 30, 2021; Facing South)



Image 15: Basement Window Opening on Northwest Elevation
(Photo taken August 30, 2021; Facing South)



Image 16: Brick Bond Deterioration on Northwest Elevation
(Photo taken August 30, 2021; Facing South)



Image 17: View of Property Landscape East of Brick Residence
(Photo taken August 30, 2021; Facing South)



Image 18: Culvert Bridge on Property Lane
(Photo taken August 30, 2021; Facing Southeast)



Image 19: View of Property Landscape
(Photo taken August 30, 2021; Facing West)



Image 20: Timber Framed Outbuilding
(Photo taken August 30, 2021; Facing Northeast)



Image 21: Timber Frame Outbuilding Entrance Door
(Photo taken August 30, 2021; Facing Northwest)



Image 22: Hand Hewn Timbers Visible at Outbuilding Entrance
(Photo taken August 30, 2021; Facing North)



Image 23: Timber Frame Outbuilding – Interior
(Photo taken August 30, 2021; Facing Northwest)



Image 24: Timber Framed Outbuilding – Interlocking Timber Structure Visible
(Photo taken August 30, 2021; Facing Northwest)



Image 25: Board and Batten Exterior Cladding on East Elevation
(Photo taken August 30, 2021; Facing Southwest)



Image 26: Board and Batten Exterior Cladding on the North Elevation
(Photo taken August 30, 2021; Facing South)



Image 27: Metal Siding Cladding on West Elevation
(Photo taken August 30, 2021; Facing East)



Image 28: Wood Roof Rafters Visible Under Eaves
(Photo taken August 30, 2021; Facing East)



Image 29: Shed Structure – Placed on Logs
(Photo taken August 30, 2021; Facing North)



Image 30: Shed Structure – Constructed of Wide Wooden Boards
(Photo taken August 30, 2021; Facing Northwest)

Interior Photos – Brick Residence

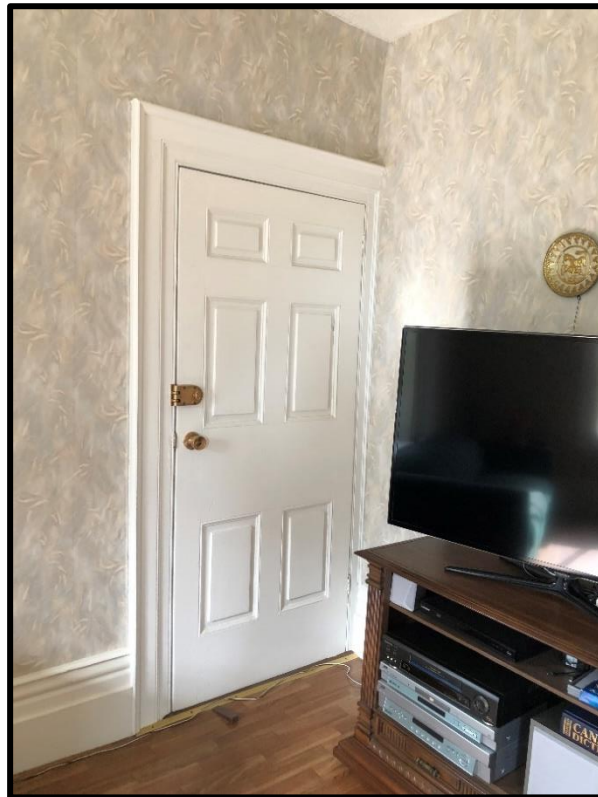


Image 31: Façade Entry Door
(Photo taken August 30, 2021)



Image 32: Window Opening on First Floor with Wooden Sash Window
(Photo taken August 30, 2021)



Image 33: Living Room on First Floor
(Photo taken August 30, 2021)



Image 34: First Floor Living Room
(Photo taken August 30, 2021)



Image 35: First Floor Opening Leading to Kitchen
(Photo taken August 30, 2021)



Image 36: Kitchen on First Floor – Door to Stairway Visible at Centre Left, Door to Rear Addition Visible at Centre Right
(Photo taken August 30, 2021)



Image 37: Kitchen on First Floor
(Photo taken August 30, 2021)



Image 38: First Floor Bedroom
(Photo taken August 30, 2021)



Image 39: First Floor Bedroom
(Photo taken August 30, 2021)

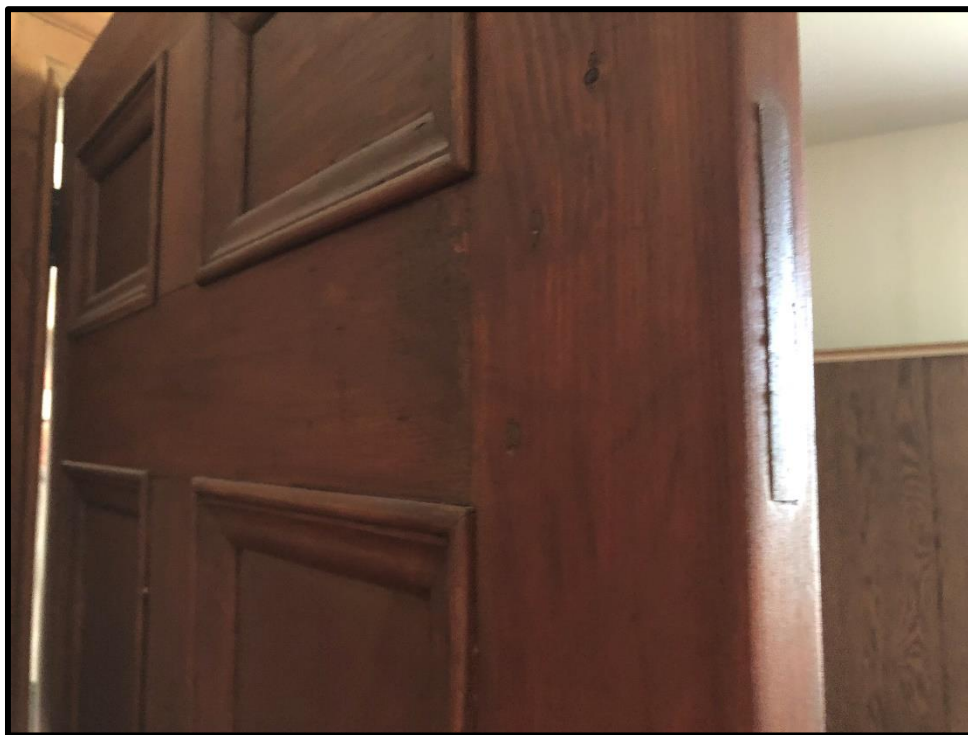


Image 40: Mortice and Tenon Joinery with Through Tenons Visible on Interior Doors
(Photo taken August 30, 2021)



Image 41: Fireplace Mantle in First Floor Bedroom
(Photo taken August 30, 2021)

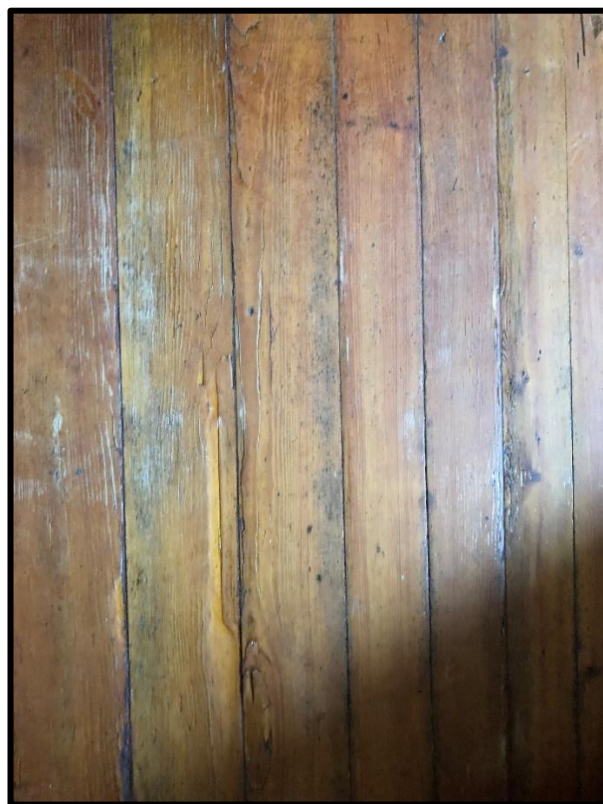


Image 42: Wood Flooring on First Floor
(Photo taken August 30, 2021)



Image 43: 6 Panel Interior Doors
(Photo taken August 30, 2021)



Image 44: First Floor Bathroom
(Photo taken August 30, 2021)



Image 45: First Floor Bathroom
(Photo taken August 30, 2021)



Image 46: Rear Addition Entrance
(Photo taken August 30, 2021)



Image 47: Rear Addition
(Photo taken August 30, 2021)



Image 48: Upper Storey with Rudimentary Banister and Baluster
(Photo taken August 30, 2021)



Image 49: Upper Storey Hallway
(Photo taken August 30, 2021)



Image 50: Wood Flooring on Upper Storey
(Photo taken August 30, 2021)



Image 51: Upper Storey Hallway
(Photo taken August 30, 2021)

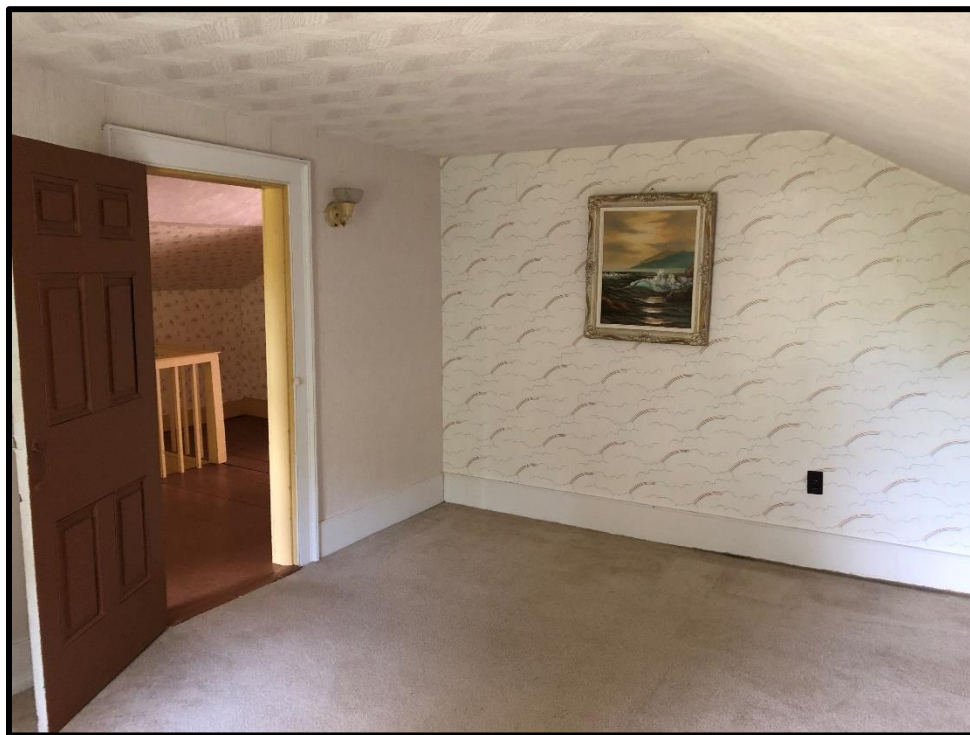


Image 52: Second Storey Bedroom
(Photo taken August 30, 2021)



Image 53: Second Storey Bedroom
(Photo taken August 30, 2021)



Image 54: Second Storey Bedroom
(Photo taken August 30, 2021)



Image 55: Second Storey Door Trim
(Photo taken August 30, 2021)



Image 56: Second Storey Bedroom Door Hardware
(Photo taken August 30, 2021)



Image 57: Second Storey Bedroom
(Photo taken August 30, 2021)



Image 58: Second Storey Bedroom
(Photo taken August 30, 2021)



Image 59: Second Storey Bedroom
(Photo taken August 30, 2021)



Image 60: Stairs Leading to Basement
(Photo taken August 30, 2021)



Image 61: Hand Hewn Beams Visible in Basement
(Photo taken August 30, 2021)



Image 62: Basement with Concrete Floor and Fieldstone Foundation with Brick Infill at Windows
(Photo taken August 30, 2021)



Image 63: Basement Window Well with Replacement Window
(Photo taken August 30, 2021)



Image 64: Brick Chimney Showing Signs of Brick Deterioration
(Photo taken August 30, 2021)

Appendix B: Key Team Member Two-Page Curriculum Vitae

Kayla Jonas Galvin, MA, RPP, MCIP, CAHP
Heritage Operations Manager

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Biography

Kayla Jonas Galvin, Archaeological Research Associates Ltd.'s Heritage Operations Manager, has extensive experience evaluating cultural heritage resources and landscapes for private and public-sector clients to fulfil the requirements of provincial and municipal legislation such as the *Environmental Assessment Act*, the *Standards & Guidelines for the Conservation of Provincial Heritage Properties* and municipal Official Plans. She served as Team Lead on the Ministry of Tourism, Culture and Sport Historic Places Initiative, which drafted over 850 Statements of Significance and for *Heritage Districts Work!*, a study of 64 heritage conservation districts in Ontario. Kayla was an editor of *Arch, Truss and Beam: The Grand River Watershed Heritage Bridge Inventory* and has worked on Municipal Heritage Registers in several municipalities. Kayla has drafted over 150 designation reports and by-laws for the City of Kingston, the City of Burlington, the Town of Newmarket, Municipality of Chatham-Kent, City of Brampton and the Township of Whitchurch-Stouffville. Kayla is the Heritage Team Lead for ARA's roster assignments for Infrastructure Ontario and oversees evaluation of properties according to *Standards & Guidelines for the Conservation of Provincial Heritage Properties*. Kayla is a Registered Professional Planner (RPP), Member of the Canadian Institute of Planners (MCIP), a professional member of the Canadian Association of Heritage Professionals (CAHP) and sits on the board of the Ontario Association of Heritage Professionals.

Education

- 2016 MA in Planning, University of Waterloo. Thesis Topic: *Goderich – A Case Study of Conserving Cultural Heritage Resources in a Disaster*
- 2003-2008 Honours BES University of Waterloo, Waterloo, Ontario
Joint Major: Environment and Resource Studies and Anthropology

Professional Memberships and Accreditations

- Current Professional Member, Canadian Association of Heritage Professionals (CAHP)
Member of the Canadian Institute of Planners (MCIP)
Registered Professional Planner (RPP)
Board Member, Ontario Association of Heritage Professionals.

Work Experience

- Current **Heritage Operations Manager, Archaeological Research Associates Ltd.**
Oversees business development for the Heritage Department, coordinates completion of designation by-laws, Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, and Cultural Heritage Resource Evaluations.
- 2009-2013 **Heritage Planner, Heritage Resources Centre, University of Waterloo**
Coordinated the completion of various contracts associated with built heritage including responding to grants, RFPs and initiating service proposals.
- 2008-2009, **Project Coordinator–Heritage Conservation District Study, ACO**

- 2012 Coordinated the field research and authored reports for the study of 32 Heritage Conservation Districts in Ontario. Managed the efforts of over 84 volunteers, four staff and municipal planners from 23 communities.
- 2007-2008 **Team Lead, Historic Place Initiative, Ministry of Culture**
Liaised with Ministry of Culture Staff, Centre's Director and municipal heritage staff to draft over 850 Statements of Significance for properties to be nominated to the Canadian Register of Historic Places. Managed a team of four people.

Selected Professional Development

- 2020 "Shaping The Public Realm: The Intersection Of Design & Planning" by Ontario Professional Planners Institute
- 2020 "Bill 189: The Coronavirus Support and Protection Act, 2020 and LPAT Update: All In An Hour" by Ontario Professional Planners Institute
- 2020 "COVID-19 and Planning" by Canadian Institute of Planners
- 2020 "Cities in the Age of COVID: What are the impacts on urban design and architecture?" by Canadian Urban Institute
- 2019 OPPI and WeirFoulds Client Seminar: Bill 108 – More Homes, More Choice, 2019
- 2019 Annual attendance at Ontario Heritage Conference, Goderich, ON (Two-days)
- 2019 Information Session: Proposed Amendments to the OHA, by MHSTCI
- 2018 Indigenous Canada Course, University of Alberta
- 2018 Volunteer Dig, Mohawk Institute
- 2018 Indigenizing Planning, three webinar series, Canadian Institute of Planners
- 2018 Cultural Heritage, Archaeology and Planning Symposium
- 2018 How to Plan for Communities: Listen to the Them, Webinar, Canadian Institute of Planners
- 2017 Empowering Indigenous Voices in Impact Assessments, Webinar, International Association for Impact Assessments
- 2017 Cultural Heritage, Archaeology and Planning Symposium
- 2017 Capitalizing on Heritage, National Trust Conference, Ottawa, ON.
- 2016 Cultural Heritage, Archaeology and Planning Symposium
- 2016 Heritage Rising, National Trust Conference, Hamilton
- 2016 Ontario Heritage Conference St. Marys and Stratford, ON.
- 2016 Heritage Inventories Workshop, City of Hamilton & ERA Architects
- 2015 Cultural Heritage, Archaeology and Planning Symposium
- 2015 City of Hamilton: Review of Existing Heritage Permit and Heritage Designation Process Workshop.
- 2015 Ontario Heritage Conference, Niagara on the Lake, ON.
- 2015 Leadership Training for Managers Course, Dale Carnegie Training

Selected Publications

- 2018 "Conserving Cultural Heritage Landscapes in Waterloo: An Innovative Approach." *Ontario Association of Heritage Professionals Newsletter*, Winter 2018.
- 2018 "Restoring Pioneer Cemeteries" *Ontario Association of Heritage Professionals Newsletter*. Spring 2018.
- 2015 "Written in Stone: Cemeteries as Heritage Resources." *Municipal World*, Sept. 2015.
- 2015 "Bringing History to Life." *Municipal World*, February 2015, pages 11-12.
- 2014 "Inventorying our History." *Ontario Planning Journal*, January/February 2015.
- 2014 "Assessing the success of Heritage Conservation Districts: Insights from Ontario Canada." with R. Shipley and J. Kovacs. *Cities*.

Amy Barnes, M.A., CAHP
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Biography

Amy Barnes, a Project Manager with the Heritage Team, has over ten years of experience evaluating cultural heritage resources and leading community engagement. Amy has extensive experience working with provincial and municipal legislation and guidelines, including the Ontario Heritage Act, Official Plans, the Standards and Guidelines for the Conservation of Historic Places, and the Ontario Heritage Toolkit. Ms. Barnes has completed over fifty heritage related projects including 150+ cultural assessments and has been qualified as an expert witness at the Ontario Superior Court of Justice. Amy has worked in the public and private sector where her duties included project management, public consultation, facilitator, research, database and records management, and report author. Amy has worked with the Town of Oakville, City of Cambridge, City of Kitchener, Niagara-on-the-Lake, City of London, and the City of Kingston on projects which range in size, scale and complexity. Amy Barnes holds an M.A. in Heritage Conservation from the School of Canadian Studies at Carleton University in Ottawa, Ontario. Amy has successfully completed the International Association of Public Participation (IAP2) Foundations in Public Participation, the IAP2 Planning and Techniques for Effective Public Participation, and Indigenous Awareness Training through Indigenous Awareness Canada. Amy is a professional member of the Canadian Association of Heritage Professionals (CAHP) and formerly served as the Vice-Chair of the Cambridge Municipal Heritage Advisory Committee.

Education

- 2009 MA in Heritage Conservation, School of Canadian Studies, Carleton University, Ottawa, Ontario.
- 2006 Honours BA, Carleton University, Ottawa, Ontario
Canadian Studies (Major) and Psychology (Minor).

Professional Memberships and Accreditations

- Current Professional Member, Canadian Association of Heritage Professionals (CAHP)
Member, International Network for Traditional Building, Architecture & Urbanism, Guelph Chapter.

Work Experience

- Current **Heritage Project Manager, Archaeological Research Associates Ltd.**
Coordinates the completion of designation by-laws, Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, and Cultural Heritage Resource Evaluations.
- 2020 **Principal Heritage Consultant, Amy Barnes Consulting.**
- 2012-2015 Coordinated the completion of various contracts associated with built heritage, cultural heritage landscapes, including Heritage Impact Assessments, Cultural Heritage Evaluation Reports, Designation Reports and professional consultation.
- 2019-2020 **Manager of Operations- Outreach and Engagement, Yorklands Green Hub.**
Coordinated the development of a feasibility study and strategic planning initiatives for the anticipated purchase of a Provincial Property of Provincial Heritage Significance. Coordination of workshops and community events, external outreach

- and communications and implementing strategic planning initiatives. Liaison with Infrastructure Ontario, Ministry of Heritage, Sport, Tourism and Cultural Industries, non-profits, charities, school boards and community members.
- 2015-2019 **Project Manager and Senior Cultural Heritage Specialist – Letourneau Heritage Consulting Inc.**
Coordinated and authored various heritage related contracts. Duties included historic research, heritage impact assessments, cultural heritage assessments and evaluations, and public engagement activities. Served as the firm's Public Engagement Specialist.
- 2011-2012 **Creative Content Developer, Virtual Museums Canada.**
Worked as part of an interdisciplinary team to help create an online virtual exhibit for Virtual Museums Canada. Responsible for historical research, record management, creative design, narrative and content development and internal coordination for the Archives and Research Team.
- 2010 **Junior Heritage Planner, Municipality of North Grenville.**
Responsible for historic research, public consultation and engagement and community development for heritage related projects. Worked with local heritage committees, Council and planning staff in accordance with the Ontario Heritage Act, Official Plans and other guiding policies.
- 2009 **Heritage Planner Intern, City of Kingston.**
Aided in heritage related projects and worked closely with heritage committees, Council, and planning staff.

Selected Professional Development

- 2020 Indigenous Awareness Training and Certification, Indigenous Awareness Canada.
– Indigenous Awareness Certification
– Indigenous Peoples and Cultures
– Indigenous Communication & Consultation
– Indigenous Employment Outreach, Recruit, and Retain
- 2019 Enviroseries “Creating a Heritage Landmark Park For Guelph at The Former Ontario Reformatory”. Yorklands Green Hub..
- 2017 International Association of Public Participation Certification
- Foundations in Public Participation
- Planning and Techniques for Effective Public Participation.

Publications

- 2013 “Landmark Series.” Cambridge Times. Selected Issues.
“Alice King Sculthorpe.” Acorn Magazine, 2013.

Selected Presentations

- 2020 “Heritage Planning”, University of Guelph Speaker Series.
2019 “Understanding Municipal Heritage Planning”, City of Cambridge Heritage Day.
2018 “Heritage Planning in Ontario”, Willowbank School of Restorative Arts, Queenston.
2016 “Jane’s Walk- Preston Heritage”, Cambridge Ontario.
2016 “Jane’s Walk Promotion”, Rogers TV, Kitchener, Ontario.

Penny M. Young, MA, CAHP (#P092)
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Web: www.arch-research.com

Biography

Penny Young has 27 years of cultural heritage management experience, 21 years working in government, as a Heritage Planner, Heritage Coordinator, Regional Archaeologist and Archaeological Database Coordinator where she managed and coordinated the impacts to cultural heritage resources including built heritage, archaeological sites and cultural heritage landscapes for compliance with municipal, provincial and federal legislation and policy. She has conducted results-driven and collaborative management of complex cultural heritage resource projects within the public sector involving developing project terms of reference, defining scope of work, preparation of budgets and conducting sites visits to monitor and provide heritage/archaeological and environmental advice and direction. At the Ministry of Transportation Penny revised, updated and developed policy, as part of a team, for the *Ontario Heritage Bridge Guidelines for Provincially Owned Bridge Guidelines for Provincially Owned Bridges*. She received the MTO Central Region Employee Recognition Award in 2001 and 2002. While at MTO she provided technical advice and input into the development of the *MTO Environmental Reference for Highway Design - Section 3.7 Built Heritage and Cultural Heritage Landscapes* and the *MTO Environmental Guide for Built Heritage and Cultural Heritage Landscapes*. She is a professional member of the Canadian Association of Heritage Planners (CAHP) and holds Professional License #P092 from MTCS. She also holds memberships in the Ontario Professional Planners Institute (OPPI) and the Ontario Archaeological Society (OAS).

Education

1990-1993 Master of Arts, Department of Anthropology McMaster University, Hamilton Ontario. Specializing in Mesoamerican and Ontario archaeology.
1983-1987 Honours Bachelor of Arts (English and Anthropology), McMaster University, Hamilton, Ontario.

Professional Memberships and Accreditations

Current Professional Member, Canadian Association of Heritage Professionals (CAHP)
Member of Ontario Archaeological Society
Pre-Candidate Member, Ontario Professional Planners Institute (OPPI)
Ministry of Tourism Culture & Sport Professional Licence (#P092)

Work Experience

Current **Project Manager - Heritage, Archaeological Research Associates Ltd.**
Coordinates ARA project teams and conducts heritage assessment projects including Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, and Cultural Heritage Resource Evaluations. Additional responsibilities include the completion of designation by-laws and heritage inventories. Liaises with municipal staff, provincial ministries and Indigenous communities to solicit relevant project information and to build relationships.

- 2008-2016 **Heritage Planner, Culture Services Unit, Ministry of Tourism, Culture & Sport (MTCS)**
Responsible for advising and providing technical review for management of cultural heritage resources in environmental assessment undertakings and planning projects affecting provincial ministries, municipalities, private sector proponents and Indigenous communities. Advised on municipalities' Official Plan (OP) policies cultural heritage conservation policies. Provided guidance on compliance with the Public Work Class EA, other Class EA legislation and 2010 *Standards and Guidelines for Provincial Heritage Properties*.
- 2014 **Senior Heritage Planner, Planning and Building Department, City of Burlington** (temporary assignment)
Project manager of the study for a potential Heritage Conservation District. Provided guidance to a multiple company consultant team and reported to municipal staff and the public. Liaised with Municipal Heritage Committee and municipal heritage property owners approved heritage permits and provided direction on Indigenous engagement, archaeological site assessments and proposed development projects.
- 2011 **Heritage Coordinator, Building, Planning and Design Department, City of Brampton** (temporary assignment)
Project lead for new Heritage Conservation District Study. The assignment included directing consultants, managing budgets, organizing a Public Information Session, and reporting to Senior Management and Council. Reviewed development/planning documents for impacts to heritage including OP policies, OP Amendments, Plans of subdivision and Committee of Adjustment applications and Municipal Class EA undertakings.
- 2010-2011 **Senior Heritage Coordinator, Culture Division, City of Mississauga** (temporary assignment)
Provided advice to Senior Management and Municipal Council on heritage conservation of built heritage, archaeological sites and cultural heritage landscapes. Liaised with multiple municipal staff including the Clerks' office, Parks and development planners and the public. Supervised and directed project work for junior heritage planner.
- 1999-2008 **Regional Archaeologist, Planning and Environmental Section, Ministry of Transportation (MTO)**
Responsibilities included: project management and coordination of MTO archaeology and heritage program, managed multiple consultants, conducted and coordinated field assessments, surveys and excavations, liaised with First Nations' communities and Band Councils, estimated budgets including \$200,000 retainer contracts.

Sarah Clarke, BA, CAHP
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Biography

Sarah Clarke is Archaeological Research Associates Ltd.'s Heritage Research Manager. Sarah has over 12 years of experience in Ontario archaeology and 10 years of experience with background research. Her experience includes conducting archival research (both local and remote), artifact cataloguing and processing, and fieldwork at various stages in both the consulting and research-based realms. As the Heritage Research Manager, Sarah is responsible for conducting archival research in advance of ARA's archaeological and heritage assessments. In this capacity, she performs Stage 1 archaeological assessment site visits, conducts preliminary built heritage and cultural heritage landscape investigations and liaises with heritage resource offices and local community resources in order to obtain and process data. Sarah has in-depth experience in conducting historic research following the *Ontario Heritage Toolkit* series, and the *Standards and Guidelines for Provincial Heritage Properties*. Sarah holds an Honours B.A. in North American Archaeology, with a Historical/Industrial Option from Wilfrid Laurier University and is currently enrolled in Western University's Intensive Applied Archaeology MA program. She is a member of the Ontario Archaeological Society (OAS), the Society for Industrial Archaeology, the Ontario Genealogical Society (OGS), the Canadian Archaeological Association (CAA), and is a Council-appointed citizen volunteer on the Brantford Municipal Heritage Committee. Sarah holds an R-level archaeological license with the MHSTCI (#R446) and is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Education

Current	MA Intensive Applied Archaeology, Western University, London, ON. Proposed thesis topic: Archaeological Management at the Mohawk Village.
1999–2010	Honours BA, Wilfrid Laurier University, Waterloo, Ontario Major: North American Archaeology, Historical/Industrial Option

Professional Memberships and Accreditations

Current	Member of the Ontario Archaeological Society
Current	Member of the Society for Industrial Archaeology
Current	Member of the Brant Historical Society
Current	Member of the Ontario Genealogical Society
Current	Member of the Canadian Archaeological Association
Current	Member of the Archives Association of Ontario

Work Experience

Current	Heritage Research Manager, Archaeological Research Associates Ltd. Manage and plan the research needs for archaeological and heritage projects. Research at offsite locations including land registry offices, local libraries and local and provincial archives. Historic analysis for archaeological and heritage projects. Field Director conducting Stage 1 assessments.
2013-2015	Heritage Research Manager; Archaeological Monitoring Coordinator, Archaeological Research Associates Ltd.

- Stage 1 archaeological field assessments, research at local and distant archives at both the municipal and provincial levels, coordination of construction monitors for archaeological project locations.
- 2010-2013 **Historic Researcher, Timmins Martelle Heritage Consultants Inc.**
Report preparation, local and offsite research (libraries, archives); correspondence with the Ministry of Tourism, Culture, and Sport; report submission to the MTCS and clients; and administrative duties (PIF and Borden form completion and submission, data requests).
- 2008-2009 **Field Technician, Archaeological Assessments Ltd.**
Participated in field excavation and artifact processing.
- 2008-2009 **Teaching Assistant, Wilfrid Laurier University.**
Responsible for teaching and evaluating first year student lab work.
- 2007-2008 **Field and Lab Technician, Historic Horizons.**
Participated in excavations at Dundurn Castle and Auchmar in Hamilton, Ontario. Catalogued artifacts from excavations at Auchmar.
- 2006-2010 **Archaeological Field Technician/Supervisor, Wilfrid Laurier University.**
Field school student in 2006, returned as a field school teaching assistant in 2008 and 2010.

Professional Development

- 2019 Annual attendance at Ontario Heritage Conference, Goderich, ON
- 2018 Cultural Heritage, Archaeology and Planning Symposium
- 2018 Grand River Watershed 21st Annual Heritage Day Workshop & Celebration
- 2018 Mississaugas of the New Credit First Nation Historical Gathering and Conference
- 2017 Ontario Genealogical Society Conference
- 2016 Ontario Archaeological Society Symposium
- 2015 Introduction to Blacksmithing Workshop, Milton Historical Society
- 2015 Applied Research License Workshop, MTCS
- 2014 Applied Research License Workshop, MTCS
- 2014 Heritage Preservation and Structural Recording in Historical and Industrial Archaeology. Four-month course taken at Wilfrid Laurier University, Waterloo, ON. Professor: Meagan Brooks.

Presentations

- 2018 *The Early Black History of Brantford.* Brant Historical Society, City of Brantford.
- 2017 *Mush Hole Archaeology.* Ontario Archaeological Society Symposium, Brantford.
- 2017 *Urban Historical Archaeology: Exploring the Black Community in St. Catharines, Ontario.* Canadian Archaeological Association Conference, Gatineau, QC.

Aly Bousfield Bastedo, B.A., Dip. Heritage Conservation
Heritage Technical Writer and Researcher

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Aly Bousfield-Bastedo, ARA's Heritage Technical Writer and researcher has four years of experience in evaluating cultural heritage resources, conducting historical research and providing conservation recommendations on a variety of projects. She holds an Honours BA in Sociology from the University of Guelph as well as a post-graduate certificate in Urban Design from Simon Fraser University. Building on these experiences, Aly received a graduate Diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Aly has gained substantial experience in provincial and municipal legislation and guidelines, including the *Ontario Heritage Act*, *Official Plans*, the *Standards and Guidelines for the Conservation of Historic Places*, and the *Ontario Heritage Toolkit*. Aly has gained considerable experience in evaluating potential impacts and recommending mitigation strategies for a variety of resources such as farmsteads, bridges, houses, churches, cultural heritage landscapes and heritage districts in urban and rural areas. Aly's breadth of work has demonstrated her ability in conducting consultations with heritage stakeholders including interviews and surveys.

Education

2017-2020	Post-Graduate Diploma in Heritage Conservation, Willowbank School of Restoration Arts. Queenston, ON
2016-2017	Post-Graduate Certificate in Urban Design, Simon Fraser University, Vancouver, BC
2009-2013	Honours BA, University of Guelph, Guelph, ON Sociology

Select Work Experience

Current	Technical Writer and Researcher, Archaeological Research Associates Ltd. Produce deliverables for ARA's heritage team, including historic research, heritage assessment and evaluation for designation by-laws, Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, and Cultural Heritage Resource Evaluations.
2021	Cultural Consultant, Ministry of Heritage, Sport, Tourism and Culture Provided liaison and advisory services to municipalities and stakeholders in the heritage sector on cultural heritage legislation in Ontario.
2020	Heritage Planning Consultant, Megan Hobson & Associates Provided heritage consulting services, including site investigation and documentation. Provided cultural heritage value assessment and evaluations.
2019-2020	Cultural Heritage Planning Intern, ERA Architects Coordinated and authored various heritage related contracts. Duties included historic research, heritage impact assessments, cultural heritage assessments and evaluations.
2016-2017	Heritage Vancouver, Programs and Communications Conducted research and analysis of heritage properties and neighbourhoods in Vancouver. Assisted in the creation of a cultural heritage landscape assessment of Vancouver's Chinatown neighbourhood through historical research and community engagement.

Select Professional Development

- 2021 International Network for Traditional Building and Urbanism (INTBAU) membership
- 2021 "Drafting Statements of Significance." Webinar presented by ARA's K. Jonas Galvin for ACO's job shadow students.
- 2021 "Architectural Styles." Webinar presented by ARA's K. Jonas Galvin for ACO's job shadow students.
- 2021 "Perspectives on Cultural Heritage Landscapes". Cultural Heritage, Archaeology and Planning Symposium. ARA Ltd.
- 2019 University of Toronto, Mark Laird "Selected topics on Landscape Architecture", Course audit
Messors, "Fornello Sustainable Preservation Workshop", Cultural Landscape Field School
- 2018 Points of Departure. Association for Preservation Technology (APT) Conference. Buffalo, NY.

Presentations

- 2018 Essential issues or themes for education in heritage conservation: Montreal Roundtable on Heritage (Canada Research Chair on Built Heritage)